



Addendum #1

March 10, 2023

Genoa Bank
Fremont Branch
1701 West State Street
Fremont, OH 43420
DAP Project No. 22019

This Addendum supplements and amends the original Drawings and Specifications dated February 16, 2023. It shall be taken into account in preparing bids, and shall become a part of the contract documents. This Addendum shall be receipted on the Bid Form.

DRAWINGS:

The Civil and Landscape drawings have been revised and are reissued in full. Changes have been indicated on each sheet with a triangular symbol and the Addendum #1.

Civil Drawings C-1 through C-14 (reissued)

Revisions per Sandusky County Building Permit Comments:

- Sheet C-13 – add ADA parking sign detail

C Series Revisions as Coordinated with Landscape Plan:

- Various sheets – revised project work limits to include area for proposed pine tree plantings south of Speedway parking lot.
- Various sheets – added landscape mound grading for tree plantings south of the Speedway parking lot. Max slope 8:1 from existing to top of mound.

Revisions per City of Fremont City Engineer:

- Sheet C-6 & C-7 – reduce the North drive to Wilson Avenue from 26.3' to 25' wide including adjusting flare radii to 12.5' to Wilson Avenue curb.
- Sheet C-8 – storm sewer ST#1 to ST#2 revised to 12" pipe.
- Sheet C-8 – storm sewer ST#2 to ST#3 revised to 12" pipe.
- Sheet C-8 – storm sewer ST#5 to ST#6 revised to 12" pipe.
- Sheet C-8 – storm sewer ST#7 to ST#8 reduced pipe length from 101 lf to 90 lf.
- Sheet C-8 – revised high water/WQV elevations per drainage calculations.
- Sheet C-8 – revised ST#9 outlet control structure per drainage calculations.
- Sheet C-7 & C-8 – increase the N-S length of the detention basin by 14'. No change in width of the basin.
- Sheet C-7 & C-8 – increase the slope of swale in detention basin to 1.0% from inlet to OCS.
- Drainage calculations (to City Engineer) – reduce allowable outlet flow & increased required detention basin storage.



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Bollard Summary (Civil & Arch):

- Sheet C-13 - Revise Bollard Count Note.
- The bollard count is as follows:
 - Dumpster Enclosure: 5 bollards
 - Chain Access Barrier: 3 bollards w/ Chain Barrier
 - Teller Drive-thru: 6 bollards
 - Mech Yard Access Drive: 3 bollards

Rear Lot Area (See Civil Plan Demo Note F):

- Per the Owner, the 'REAR LOT' area is intended for future development.
- Currently, the area is generally in a poor condition with weeds, trees and debris throughout the area. It represents an unsightly condition with respect to the proposed banking facility.
- The intent of the Owner is to clean up the area, add site lighting per MEP plan and improve the visibility of the site for promotion of future development.
- Additionally, the Owner intends to create an area that results in reduced maintenance requirements.

Rear Lot Area includes:

- Area #1 ~ Clearing & excavation required for the construction of the Detention Basin. This is considered to be the area beyond the RED project work limits to the existing fence (south), concrete barrier (west) and Speedway property (north).
- Area #2 ~ Remainder of the rear lot. This is considered to be the area within the RED project work limits.

Area #1 ~

- Contractor to remove trees, asphalt, sub-base material and debris to facilitate the construction of the detention basin grading, storm sewer and dumpster installation.
- Area to be restored with permanent vegetation per SWPPP to the limits of the RED project area.
- Owner intends to mow & maintain this area by the dumpster and detention basin as part of the new Genoa Bank facility.

Area #2 ~

- Contractor to remove trees, asphalt and debris to facilitate maintenance and condition of the area.
- Concrete barriers along the western limits area to remain. These are intended to eliminate access to the area and ensure adjacent semi parking as permitted by the City does not extend on to the Genoa Bank property.
- On removal of the existing asphalt surface, the remaining aggregate sub-grade is to be leveled / graded to remove ruts from demo activities. Contractor to utilize existing aggregate without addition of new aggregate materials.



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- As part of the current Genoa Bank plans, there is no storm sewer or drainage being extended into the Rear Lot area beyond the construction of the detention basin and dumpster.
- Exposed aggregate area to be treated with Herbicide agent such as Round-up or Glyphosate Plus Weed Preventer.

Landscape Drawings L-1 and L-2 *(reissued)*

Item 1: L-1 and L-2 Trees previously indicated as Colorado Spruce have been changed to Black Hills Spruce and those indicated as Capitol Pear have been changed to Red Rocket Maple.

Item 2: Sheet L-1, General Notes No. 2: Add comment regarding coordination with Civil Drawings for limits of work line.

Item 3: Sheet L-2 Delete ADA Parking sign. This has been revised and is located on the Civil Sheet C-13.

Item 4: Sheet L-2 Dumpster Enclosure: Construction for dumpster enclosure has been revised as shown.

Item 5: Miscellaneous notes indicated for directional signs: Note that these are provided by Owner.

Item 6: Clarification Construction Note No. 2. Delete the word "river rock".

Item 7: Add legend with hatch patterns for field stone, rock mulch areas, and contour lines.

Drawing Sheet P1.01 Floor Plan Plumbing *(not reissued)*

Item 1: Both water closets indicated on Drawing Sheet P1.01 shall be Water Closet WC-2 Kohler K-3979 (ADA, Floor Set, Tank Type) per Specification 22 4000-5 Item B. Lever handle locations shall be on the wide side of the fixture.

Drawing Sheet E2.01 Lighting Floor Plan *(not reissued)*

Item 1: Occupancy sensor wall switches indicated as "SO" are described in the Specification Section 26-2726 Lighting Control Devices.



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Item 2: Dimmer Wall Switch to be integrated with vacancy/occupancy sensor and power pack; nLight nPODMA series.

SPECIFICATIONS:

Specification changes as listed herein shall become a part of the contract documents:

Instructions to Bidders *(not reissued)*

Item 1: Bid Date has been revised as follows: **Bids are due March 27, 2023 at 2:00 PM.**

Bid Form *(not reissued)*

Item 1: Construction Schedule is to remain as stated.

General / Supplementary Conditions *(not reissued)*

Item 1: Article 9: Payments and Completion: Add the following:

- Payment of an approved Certificate for Payment shall be made within 30 days from the date of approval by the Architect.
- Payments due and not paid to the Contractor within such 30-day period shall bear interest from the date payment is due under the Contract Documents at the average of the prime rate established at the commercial banks in the city of over 100,000 population that is nearest to the Project pursuant to Section 153.14, ORC.

Section 042000 Unit Masonry Systems *(not reissued)*

Item 1: Section 2.03 A: Add an acceptable manufacturer of Face Brick: Glen Gery Modular / Aspen White Wirecut.

Section 087100 Door Hardware *(not reissued)*

Item 1: Corbin Russwin high security cylinders and locks are not required. The individual hardware sets scheduled in Section 3.06 shall take precedence over products listed throughout Section 2.02

Section 22 4000 Plumbing Fixtures *(not reissued)*

Item 1: Section 2.02 A.
Delete Water Closet WC-1: Kohler K-3978 (floor set, tank type).



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Item 2: Section 2.02 B.

For WC-2, delete “trip lever on the left side of the tank”. Lever handle to be on the wide side of the toilet.

MISCELLANEOUS:

Item 1: Emergency Responder coverage testing shall be the responsibility of the General Contractor.

Item 2: For clarification, the following items will be contracted separately by the Owner for both material and installation. See notes for work that is the responsibility of the General Contractor under this contract:

- Furniture
- Appliances (refrigerator, dishwasher, microwave)
- TVs
- Vault (**Interior finishes, interior wall and door are to be provided by GC as noted on drawings**)
- Bank Equipment
 - Drive-thru lane status signs
 - Drive-thru customer unit terminals and pneumatic tubing
 - Drive-thru bullet proof window (**Opening by GC**)
 - ATM (**Opening by GC**)
 - Night deposit (**Opening by GC**)
 - Under counter cabinets at teller stations shown dashed (**Teller Stations by GC**)
- Window Treatments
- Select Restroom Accessories i.e., paper towel, soap dispenser, trash material only. (**Installation by GC under this contract**)
- Signage (**other than restroom, tactile exit signs and handicap parking signs which are the responsibility of the GC under this contract**)
- Owner provided electrical and security related items as indicated on the electrical drawings and specifications.

ATTACHMENTS:

Civil Engineering Drawing Sheets C-1 through C-14
Landscape Drawing Sheets L-1, L-2

END OF ADDENDUM #1

CIVIL SITE DEVELOPMENT PLANS

GENOA BANK COMPANY FACILITY

DESIGN GUIDELINES:

- CITY OF FREMONT ZONING RESOLUTION, LATEST ISSUANCE & AMENDMENT
- CITY OF FREMONT - ENGINEERING DEPARTMENT STANDARDS & SPECIFICATIONS
- OHIO ENVIRONMENTAL PROTECTION AGENCY STANDARDS & SPECIFICATIONS
- STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION & MATERIAL SPECIFICATIONS DATED JANUARY 1, 2019



WORK W/ PUBLIC RIGHT-OF-WAY

ANY WORK WITHIN THE ROAD RIGHT-OF-WAY SHALL FOLLOW STANDARDS, DETAILS AND RECOMMENDATIONS OF THE OMUTCD, LATEST ISSUANCE AND REVISION. ANY ROAD OR LANE CLOSURES REQUIRED FOR COMPLETION OF THE PROJECT MUST BE APPROVED BY THE CITY OF FREMONT SAFETY SERVICE DIRECTOR.

TOPOGRAPHIC SURVEY:

TOPOGRAPHIC DATA AND CONTOUR INFORMATION (IF PLOTTED) ARE BASED ON A FIELD SURVEY CONDUCTED BY D.R. FREDERICK & ASSOCIATES NOVEMBER 2022. SURVEY INFORMATION PREPARED UNDER THE SUPERVISION OF DEAN R. FREDERICK, OHIO PROFESSIONAL SURVEYOR NO. S-8131.

BOUNDARY SURVEY:

D.R. FREDERICK & ASSOCIATES COMPLETED A BOUNDARY SURVEY OF THE SUBJECT PROPERTY AS PART OF AN INSTRUMENT SURVEY. BOUNDARY INFORMATION SHOWN IS BASED ON:

PARCEL DEED: GENOA BANKING COMPANY REC: BK 263 PG 1631 & BK 265 PG 645

FLOOD PLAIN DATA:

- THE PARCEL IS CONTAINED WITHIN FLOOD ZONE X, AREA DETERMINED TO BE OUTSIDE AREA OF 0.2% ANNUAL CHANCE FLOOD HAZARD AREA.
- PER COMMUNITY PANEL # 39143 C 0260 C - OF THE FEDERAL FLOOD INSURANCE RATE MAPS EFFECTIVE DATE APRIL 18, 2011.

SOIL DATA:

BASED ON THE WEB SOIL SURVEY (HTTP:WEBSOILSURVEY.SC.egov.usda.gov) DOWNLOADED MAY 2022 THE SITE IS COMPOSED OF THE FOLLOWING:

- KbA - KIBBIE FINE SANDY LOAM, 0 TO 2 PERCENT SLOPES (K FACTOR FOR WHOLE SOIL = 0.24, LOW RISK OF EROSION)
- Le - LENAWEE SILTY CLAY LOAM, 0 TO 1 PERCENT SLOPES (K FACTOR FOR WHOLE SOIL = 0.32, LOW RISK OF EROSION)

A GEOTECHNICAL / SUBSURFACE EXPLORATION REPORT HAS NOT BEEN COMPLETED BY:

CL CONSULTANTS, INC. PROJ No. 229493 DATED: FEBRUARY 15, 2023
THE CONTRACTOR SHALL REQUEST A COPY OF ANY SUCH REPORTS THAT MAY BE GENERATED SUBSEQUENT TO THIS PLAN PREPARATION PRIOR TO THE START OF CONSTRUCTION. ABSIDE BY ALL ADDITIONAL REQUIREMENTS CONTAINED WITHIN SUCH REPORTS, WHETHER SHOWN ON THESE PLANS OR NOT. ANY DISCREPANCIES BETWEEN SUCH REPORTS AND THESE PLANS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO CONSTRUCTION.

ZONING INFORMATION:

PURSUANT TO THE CITY OF FREMONT ZONING ORDINANCE, LATEST ISSUANCE & AMENDMENT

PARCEL ZONING: B-2 - GENERAL COMMERCIAL DISTRICT

MINIMUM LOT WIDTH: 60 FEET

MINIMUM LOT COVERAGE: 25%

MAXIMUM BUILDING HEIGHT: 35 FEET (3 STORIES)

YARD SETBACKS:

- FRONT = 25 FEET
- SIDE = 20 FEET
- REAR = 20 FEET (MAIN BUILDING)
- REAR = 20 FEET (ACCESSORY STRUCTURE)
- PARKING = 10 FEET (LANDSCAPE BUFFER)

UTILITY COMMENTARY

AS PART OF THE PROPOSED BUILDING & SITE IMPROVEMENTS:

SANITARY SEWER:

PROPOSED 6" SANITARY SEWER SERVICE CONNECTED TO EXISTING 6" SANITARY SEWER SERVICE ALONG WEST STATE STREET FRONTAGE AS INDICATED ON SURVEY (PREVIOUS SANITARY SEWER SERVICE AS LOCATED BY DEMOLITION CONTRACTOR - NO WORK WITHIN R/W). CONTRACTOR TO VERIFY DEPTH & LOCATION PRIOR TO CONSTRUCTION OF BUILDING.

WATER:

PROPOSED WATER SERVICE TO CONNECT TO EXISTING 16" WATER MAIN ON EAST R/W OF WILSON AVENUE. CONTRACTOR TO PROVIDE BORING UNDER WILSON AVENUE. CITY OF FREMONT TO PERFORM WATER SERVICE TAP. COORDINATE WITH CITY OF FREMONT WATER DISTRIBUTION.

ELECTRIC:

COORDINATE ELECTRIC SERVICE AS PROPOSED BY MEP AS PART OF THE BUILDING & SITE IMPROVEMENTS.

GAS:

COORDINATE GAS SERVICE AS PROPOSED BY MEP AS PART OF THE BUILDING & SITE IMPROVEMENTS.

REFER TO MEP PLANS FOR COORDINATION OF UTILITIES & SERVICE CONNECTIONS TO THE PROPOSED BUILDING.

UTILITIES - CONTACT INFORMATION

CITY OF FREMONT
ENGINEERING DEPARTMENT
(SAN/STORM/WATER/ROAD)
323 SOUTH FRONT STREET
FREMONT, OHIO 43420
(P) 419-334-8963

COLUMBIA GAS OF OHIO
333 SOUTH ERIE STREET
TOLEDO, OHIO 43602
(P) 419-252-8110

BUCKEYE BROADBAND
2700 OREGON ROAD
NORTHWOOD, OHIO 43619
(P) 419-724-3713

SBC
ROOM 714
130 NORTH ERIE STREET
TOLEDO, OHIO 43624
(P) 419-245-7304

AT&T
130 NORTH ERIE STREET
TOLEDO, OHIO 43604
(P) 419-245-7244

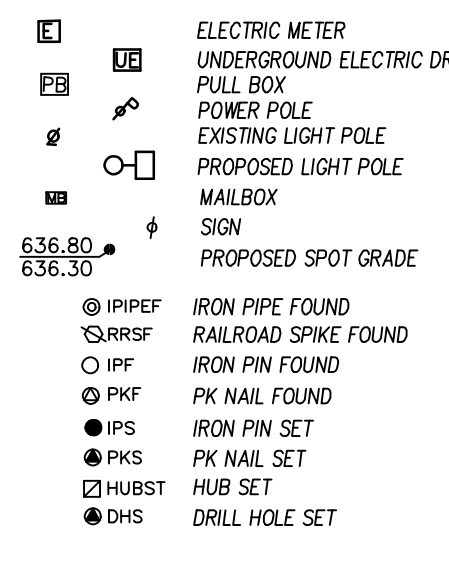
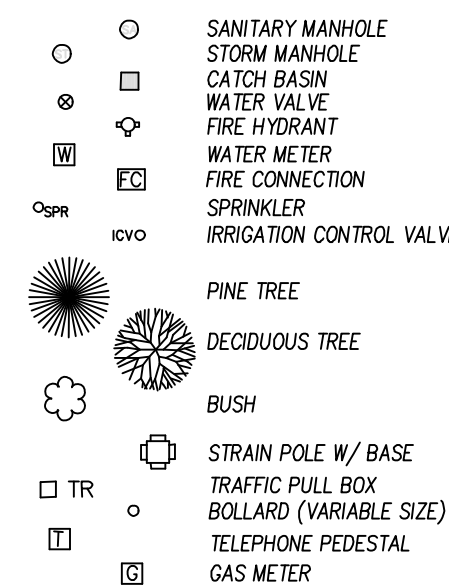
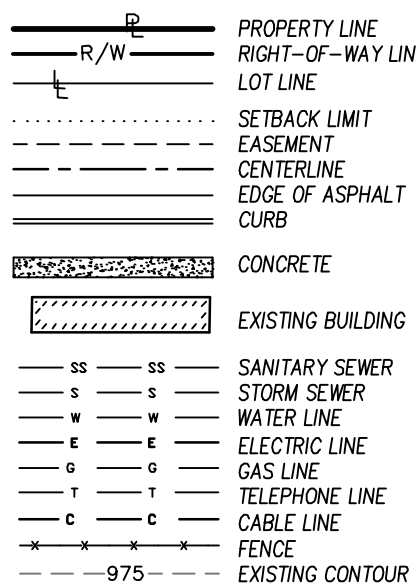
TOLEDO EDISON
6099 ANGOLA ROAD
HOLLAND, OHIO 43528
(P) 419-249-5218

AEP
2622 SOUTH STATE ROUTE 100
TIFFIN, OHIO 44893
(P) 419-209-5563

TIME WARNER CABLE
29 E MAIN STREET
NORWALK, OHIO 44857
(P) 888-558-3147

SANDUSKY COUNTY ENGINEER'S OFFICE
2500 WEST STATE STREET
FREMONT, OHIO 43420
(P) 419-334-9731

LEGEND



PARKING REQUIREMENTS

SEC 1145.05(D) ~ FOR FINANCIAL SERVICES THE FOLLOWING PARKING SPACES ARE REQUIRED:
ONE SPACE FOR EVERY 400 SF

PROP BUILDING AREA = 3,974.5 SF

REQ'D PARKING = 9.93 SPACES ~ 10 SPACES

SEC 1145.10(A) ~ FOR TELLER AND ATM SERVICES THE FOLLOWING STACKING SPACES ARE REQUIRED:
ATM - TWO STACKING SPACES PER LANE
TELLER - THREE STACKING SPACES PER TELLER

TOTAL STACKING REQ'D = 8 SPACES

EXISTING SPACES:
NONE - EXISTING BUILDINGS DEMO'D JAN 2023

DEVELOPMENT DATA

SITE AREA:
- PARCEL OVERALL ~ 2.4714 ACRE
- BANK DEVELOPMENT ~ 1.6850 ACRES

EXISTING BUILDING:
NONE - BUILDINGS DEMO'D JAN 2023
TOTAL BUILDING AREA = 000 SF

EXISTING PARKING:
NONE - BUILDINGS DEMO'D JAN 2023
TOTAL PARKING = 00 SPACES

PROPOSED PARKING ALLOCATION:

TYPICAL SPACE - 9' x 19'
SUBJECT TO DIMENSIONAL SITE PLAN, STANDARD AND ADA SPACE ALLOCATION.

GENOA BANKING FACILITY - PROPOSED BUILDING
STANDARD SPACES = 22 SPACES
HANDICAP SPACES = 1 SPACES
TOTAL PARKING = 23 SPACES

GENOA BANKING FACILITY - TELLER / ATM
STACKING SPACES = 8 SPACES
(INCL SPACE AT ATM OR TELLER WINDOW)

SITE

LOCATION MAP

SCALE: 1" = 800'

SHEET INDEX

- C-1 - TITLE SHEET
- C-2 - OVERALL PROPERTY PLAN
- C-3 - EXISTING CONDITIONS PLAN ~ DEVELOPMENT AREA
- C-4 - EXISTING CONDITIONS PLAN ~ DEVELOPMENT AREA
- C-5 - DEMOLITION PLAN
- C-6 - DIMENSIONAL SITE PLAN ~ DEVELOPMENT AREA
- C-7 - GRADING PLAN ~ DEVELOPMENT AREA
- C-8 - UTILITY PLAN ~ DEVELOPMENT AREA
- C-9 - STORM SEWER COMPUTATIONS ~ DEVELOPMENT AREA
- C-10 - STORM WATER POLLUTION PREVENTION PLAN - CURRENT DEVELOPMENT
- C-11 - STORM WATER POLLUTION PREVENTION PLAN NOTES
- C-12 - STORM WATER POLLUTION PREVENTION PLAN DETAILS
- C-13 - GENERAL NOTES & CONSTRUCTION DETAILS
- C-14 - GENERAL NOTES & CONSTRUCTION DETAILS

REVISIONS	DATE
INITIAL SUBMITTAL	1/25/23
OWNER REVIEW	2/7/23
CITY SUBMITTAL	2/14/23
ADDENDUM #1	3/10/23

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419.340.2650 fax 419.726.1995
DFREDERICK@FREDERICKASSOC.COM

TITLE SHEET
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

DATE: JAN 2023
DRAWN BY: DRF
JOB No.: 22-2328
SCALE: N/A

SHEET
C-1



DEAN R. FREDERICK
PROFESSIONAL ENGINEER E-61807

03/10/2023

DATE



OWNER/DEVELOPER:

GENOA BANKING COMPANY
801 MAIN STREET
P.O. BOX 98
GENOA, OHIO 43430
PHONE: 419-855-8381
CONTACT: MARTY SUTTER, PRESIDENT

ARCHITECT:

DUKET|ARCHITECTS|PLANNERS
830 NORTH SUMMIT STREET
TOLEDO, OHIO 43604
PHONE: 419-255-4500
CONTACT: MIKE DUKET, AIA



ENGINEER:

D.R. FREDERICK & ASSOCIATES
4645 NORTH SUMMIT STREET
TOLEDO, OHIO 43611
PHONE: 419-340-2650
CONTACT: DEAN FREDERICK, PE, PS

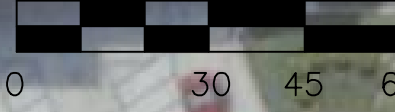
CIVIL SITE DEVELOPMENT PLANS
FOR
GENOA BANK FACILITY

1701 STATE STREET WEST PARCEL: 34-50-00-5107-00
1707 STATE STREET WEST PARCEL: 34-50-00-5106-00
804 WILSON AVENUE NORTH PARCEL: 34-50-00-5110-00
810 WILSON AVENUE NORTH PARCEL: 34-50-00-5108-00
000 GRANVILLE BLVD PARCEL: 34-60-00-0303-02
BEING A 2.457 ACRE PARCEL
PART OF THE INLOT 5105-5111 & OL LOT 303
CITY OF FREMONT, SANDUSKY COUNTY, STATE OF OHIO

PROJECT WORK LIMITS

APPROX LIMITS OF SITE & BUILDING IMPROVEMENTS,
SUBJECT TO CONTRACTORS OPERATIONS AND
COORDINATION WITH OWNER & PROJECT MANAGER.

GRAPHIC SCALE



POC

GRANDVILLE BLVD
(100' Right-of-Way)
(Un-Improved Roadway)

COMBINED PARCEL
GENOA BANKING COMPANY
2.4714 ACRES
(107,656.64 SF)

OUTLOT 303

MARATHON FINANCE COMPANY
PART OF OUTLOT 303
0.66 ACRES (AUDITOR)
ADDRESS: 1721 WEST STATE STREET
PARCEL# 34-60-00-0303-00

EMRO MARKETING COMPANY
PART OF INLOT 5105
0.8921 ACRES (AUDITOR)
ADDRESS: 1711 WEST STATE STREET
PARCEL# 34-50-00-5105-00

REIL, MICHAEL
PART OF OUTLOT 303
1.23 ACRES (AUDITOR)
ADDRESS: 784 NORTH WILSON AVENUE
PARCEL# 34-60-00-0303-01

TOMICK PROPERTIES, LLC
OUTLOT 303
10.157 ACRES (AUDITOR)
ADDRESS: 1501 WEST STATE STREET
PARCEL# 34-50-00-0302-00

Ohio Utilities Protection Service

Call 811
before you dig

REVISIONS	DATE
PRELIM SITE J	11/15/22
INITIAL SUBMITTAL	1/25/23
OWNER REVIEW	2/7/23
CITY SUBMITTAL	2/14/23
ADDENDUM #1	3/10/23

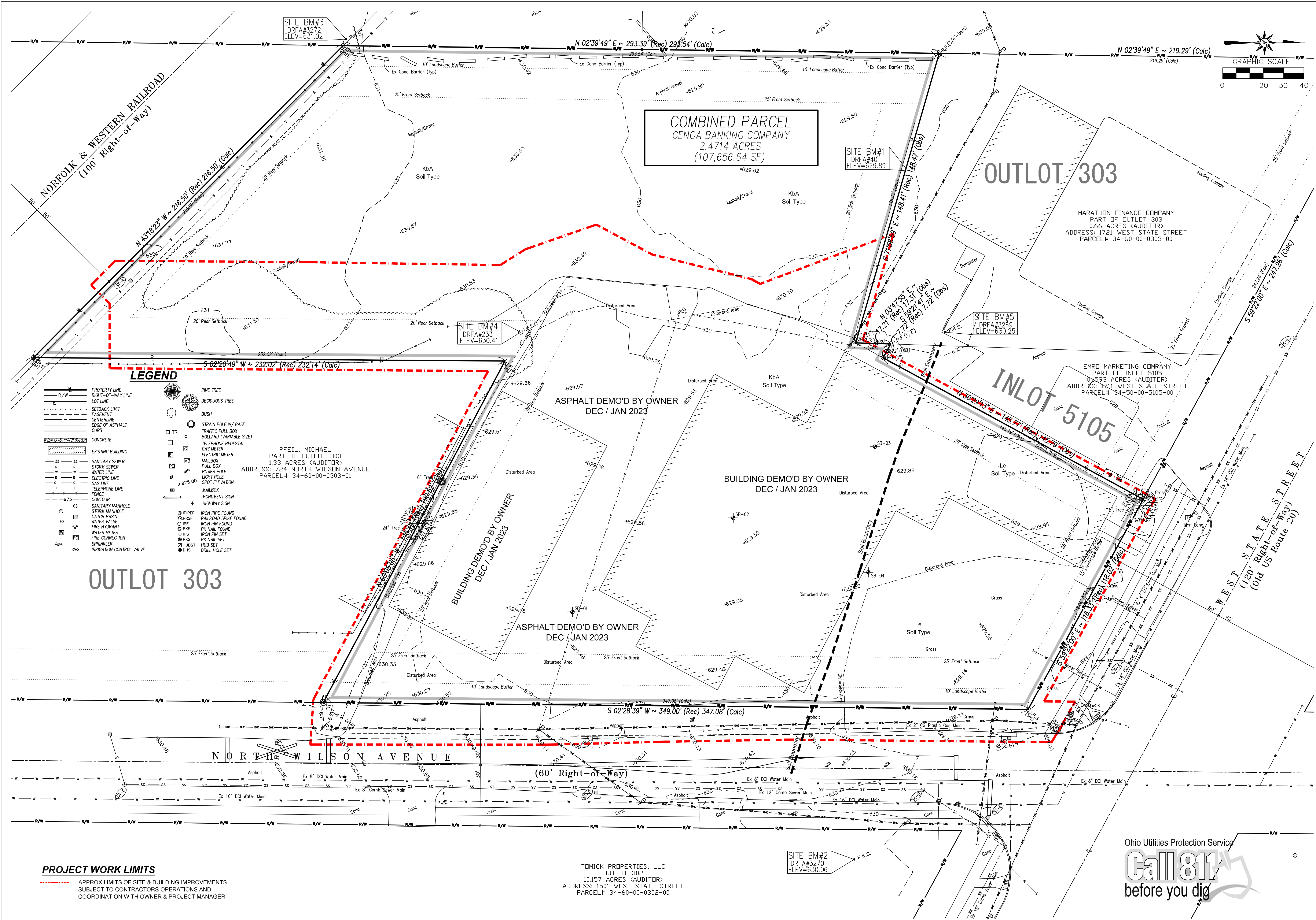
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DFREDERICK@FREDERICKASSOC.COM

OVERALL PROPERTY PLAN
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

DATE: JAN 2023
DRAWN BY: DRF
JOB No.: 22-2328
SCALE: 1"= 30'

SHEET
C-2



PROJECT WORK LIMITS

APPROX LIMITS OF SITE & BUILDING IMPROVEMENTS.
SUBJECT TO CONTRACTORS OPERATIONS AND
COORDINATION WITH OWNER & PROJECT MANAGER.

TOMICK PROPERTIES, LLC
OUTLOT 303
10.157 ACRES (AUDITOR)
ADDRESS: 1501 WEST STATE STREET
PARCEL# 34-60-00-0302-00

Ohio Utilities Protection Service

Call 811
before you dig

REVISIONS	DATE
INITIAL SUBMITTAL	1/25/23
OWNER REVIEW	2/7/23
CITY SUBMITTAL	2/14/23
ADDENDUM #1	3/10/23

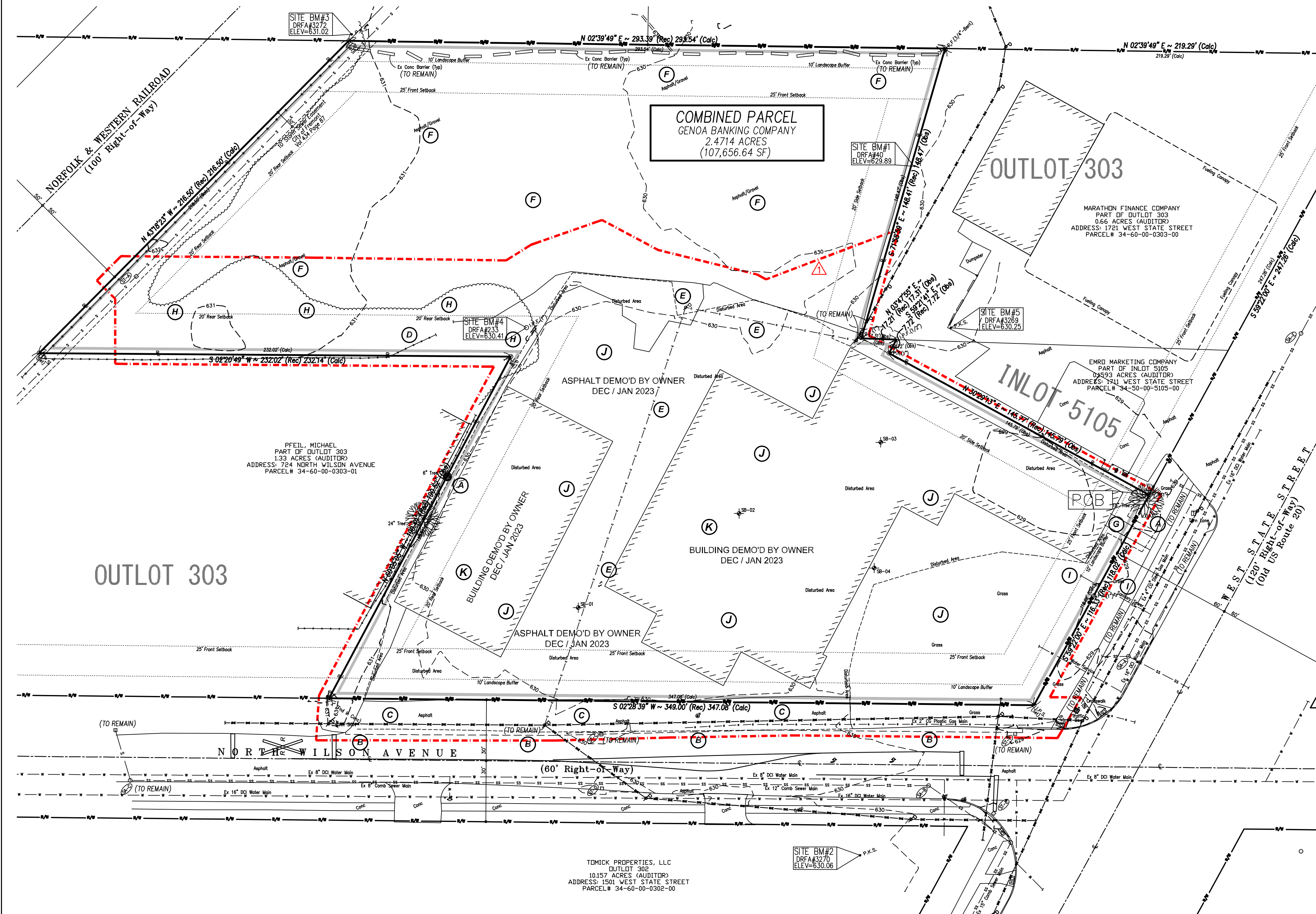
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EXISTING CONDITIONS PLAN
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

DATE: JAN 2023
DRAWN BY: DRF
JOB No.: 22-2328
SCALE: 1"= 30'

SHEET
C-3



PROJECT WORK LIMITS

APPROX LIMITS OF SITE & BUILDING IMPROVEMENTS.
SUBJECT TO CONTRACTORS OPERATIONS AND
COORDINATION WITH OWNER & PROJECT MANAGER.

UNDERGROUND UTILITY LOCATION:

CONTRACTOR IS REQUIRED TO ENGAGE GPRS SERVICES TO SCAN AREAS OF
WORK PRIOR TO ANY EXCAVATION.

DEMOLITION NOTES:

- 1) ALL REMOVALS NECESSARY TO ACCOMPLISH THE NEW WORK ARE TO BE CONSIDERED PART OF THE CONTRACT & INCLUDED IN ITS BIDDING, WHETHER SPECIFIED, SHOWN ON DRAWING OR NOT. A CAREFUL INSPECTION OF THE PREMISES PRIOR TO BIDDING SHALL BE MADE BY EACH BIDDER.
- 2) ALL EXCESS MATERIALS AND MATERIALS LABELED "TO BE REMOVED" OR "TBR" SHALL BE TRANSPORTED OFF-SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. ALL COST ASSOCIATED WITH THE EXCAVATION, LOADING, HAULING AND DISPOSING OF THE MATERIAL SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- 3) ALL EXISTING FEATURES DESIGNATED TO REMAIN THAT ARE DISTURBED DUE TO CONSTRUCTION AND / OR CONTRACTOR'S OPERATION, SUCH AS MAILBOXES, SHRUBS, BUSHES, GUARDRAIL, SIGNS, LIGHTS, DRIVEWAYS, SWALES, SEWERS, CATCH BASINS, BERMS, SEEDING AREAS, ETC., SHALL BE REPLACED IN KIND TO THEIR ORIGINAL CONDITION / GRADE IN ACCORDANCE WITH APPLICABLE ODOT, SANDUSKY COUNTY AND / OR CITY OF FREMONT SPECIFICATIONS. FURTHER, REPAIR / REPLACEMENT SHALL BE MADE TO THE SATISFACTION OF THE OWNER, CITY, COUNTY AND STATE. REPAIR / REPLACEMENT OF THESE ITEMS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, TYPE AND MATERIAL, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. ANY CONFLICTS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR DISCUSSION PRIOR TO CONSTRUCTION.
- 5) THE CONTRACTOR SHALL CALL, TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 72 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
- 6) CONTRACTOR SHALL CONDUCT A THOROUGH SITE INSPECTION PRIOR TO BIDDING TO VERIFY LIMITS OF PROJECT & DEMOLITION. COORDINATE BID ITEMS WITH THE DEVELOPER AND ENGINEER.
- 7) THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND DURING HIS INVESTIGATION OF THE EXISTING SITE CONDITIONS.
- 8) THE CONTRACTOR SHALL FOLLOW ALL STATE, CITY, COUNTY, AND ANY OTHER LOCAL SAFETY REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION OF THIS PROJECT.
- 9) PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL COORDINATE WITH CITY OF FREMONT AND SANDUSKY COUNTY REGARDING TRUCK HAUL ROUTES, ROADWAY REPAIRS (IF REQ'D) SIDEWALK CLOSURES (IF REQ'D) AND ALL NECESSARY SIGNAGE FOR CLOSURES AND DETOUR ROUTES.
- 10) D.R. FREDERICK & ASSOCIATES WAS NOT PROVIDED WITH AN ENVIRONMENTAL REPORT FOR THE SUBJECT PROPERTY. PRIOR TO THE DEVELOPMENT OF THESE PLANS, THE EXISTING BUILDINGS & SITE FEATURES WERE DEMO'D BY OTHERS. CONTRACTOR TO NOTIFY OWNER & PROJECT MANAGER IF POTENTIALLY CONTAMINATED SOILS ARE ENCOUNTERED.
- 11) SEE ARCHITECTURAL & MECHANICAL PLANS BY OTHERS FOR ANY/ALL BUILDING DEMOLITION DETAILS.
- 12) CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING ANY THE STOCKPILE LOCATIONS FOR ANY DESIGNATED SALVAGE ITEMS, SOIL MATERIAL AND SITE FEATURES WHICH MAY OR MAY NOT BE LISTED ON THIS SHEET.

DEMOLITION DATA:

- 2 EA - TREE REMOVAL INCLUDING STUMP. COORDINATE WITH LANDSCAPE PLAN FOR ANY ADDITIONAL REMOVALS.
- 336 LF - SAWCUT EXISTING PAVEMENT IN PREPARATION FOR PROP DRIVE & CURB INSTALLATION.
- 4,056 SF - EXISTING ASPHALT REMOVAL ALONG WILSON AVENUE INCLUDING AGGREGATE BASE AS REQUIRED TO PREPARE AREA LAWN, PROPOSED DRIVE ENTRANCE AND CURB PLACEMENT FOR THE SITE IMPROVEMENTS.
- 23± LF - REMOVAL OF EXISTING CHAINLINK FENCE INCLUDING POSTS AND GATE.
- 1 EA - POWER POLE OVERHEAD CABLE REMOVAL. COORDINATE WITH UTILITY COMPANY MEP. NOTE: POLE MAY HAVE BEEN REMOVED DURING BUILDING DEMOLITION.
- 41,326± SF - REMOVAL OF EXISTING ASPHALT / GRAVEL / MILLINGS & RESTORATION WITH GRAVEL BEYOND LIMITS OF PROP BANK SITE IMPROVEMENTS. GRAVEL & AREA TO REMAIN VACANT. CONTRACTOR TO PROVIDE PERMANENT STABILIZATION FOR THE RESTORATION AREA. COORDINATE WITH OWNER & ENGINEER.
NOTE: ANTICIPATE GRADING EXISTING AGGREGATE BASE MATERIAL FOR SURFACE RESTORATION.
- 158 SF - FULL DEPTH CONCRETE REMOVAL OF EXISTING SIDEWALK & RESTORATION WITH SOIL FOR LAWN AREA. NOTE: SIDEWALK MAY HAVE BEEN REMOVED DURING BUILDING DEMOLITION.
- 5,712± SF - EXISTING CLEARING & GRUBBING AREA FOR ISITE IMPROVEMENTS INCLUDING DETENTION BASIN, DUMPSTER & STORM SEWER. REMOVALS SHALL INCLUDE STUMPS, MISC ASPHALT & DEBRIS.
- 1 EA - VERIFY INVERT & LOCATION OF THE SANITARY SEWER SERVICE LOCATION AS COMPLETED BY DEMOLITION CONTRACTOR. PROVIDE INVERT ELEVATION & LOCATION TO ENGINEER & ARCH FOR COORDINATION OF SANITARY SERVICE.
- GENERAL - WITHIN THE LIMITS OF THE PROPOSED BUILDING AND SITE IMPROVEMENTS, CONTRACTOR SHALL REMOVE THE EXCESS DEBRIS AND EXISTING GRAVEL, SOIL MATERIALS AND DEBRIS AS NEEDED IN ORDER TO PREPARE THE SUBGRADE FOR THE PROPOSED IMPROVEMENTS. COORDINATE WITH PROJECT MANAGER & GEOTECH AS TO COMPACTION AND PREPARATION OF THE SUBGRADE PRIOR TO FILLING OPERATIONS & CONSTRUCTION OF THE IMPROVEMENTS. AT THE DIRECTION / APPROVAL OF THE GEOTECH.
- LIMITS OF THE EXISTING BUILDINGS (DEMO'D DEC 2022 / JAN 2023) INDICATED FOR REFERENCE FOR CONTRACTOR PREPARING THE SITE IMPROVEMENTS FOR THE GENOA BANK FACILITY.

SUMMARY OF AREAS:

TOTAL PARCEL AREA:
2.4714 ACRES
107,656.64 SF

DEVELOPMENT AREA (GENOA BANK FACILITY)
1.6850 ACRES
73,400.5 SF
(INCLUDES WILSON AVE FRONTAGE FOR CURB, WALK & PAVEMENT AND DETENTION / DUMPSTER AREA)

FUTURE DEVELOPMENT AREA (REAR)
0.8795± ACRES
38,312.1± SF

SUMMARY OF IMPERVIOUS AREAS TO BE REMOVED:

41,326 SF - ASPHALT/MILLINGS/GRAVEL (REAR FUTURE DEVELOPMENT AREA)
7,059 SF - BUILDING (SOUTH)
20,388 SF - BUILDING (NORTH)
4,056 SF - ASPHALT (WILSON AVE R/W)
17,110 SF - ASPHALT/CONC (SITE DEVELOPMENT AREA)
158 SF - CONCRETE (NORTH SIDEWALK AREA)
5,712 SF - ASPHALT/MILLINGS WITHIN TREE AREA (DETENTION BASIN & DUMPSTER)
95,809 SF - TOTAL IMPERVIOUS AREA REMOVED

SUMMARY OF EXISTING PERVIOUS AREAS:

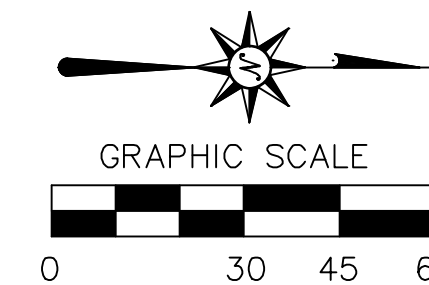
11,848 SF - GRASS / PERIMETER GREENSPACE
11,848 SF - TOTAL PERVIOUS AREA REMOVED

LEGEND

- PROPERTY LINE
- R/W
- RIGHT-OF-WAY LINE
- LOT LINE
- SETRACK LIMIT
- EASEMENT
- CENTERLINE
- EDGE OF ASPHALT
- CURB
- CONCRETE
- EXISTING BUILDING
- SS
- SS
- SANITARY SEWER
- SS
- SS
- STORM SEWER
- W
- W
- WATER LINE
- E
- E
- ELECTRIC LINE
- G
- G
- GAS LINE
- T
- T
- TELEPHONE LINE
- FENCE
- 975
- CONTOUR
- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- FIRE CONNECTION
- SPRINKLER
- HUBST
- IRRIGATION CONTROL VALVE
- PINE TREE
- DECIDUOUS TREE
- BUSH
- STRAIN POLE W/ BASE
- TRAFFIC PULL BOX
- BOLLARD (VARIABLE SIZE)
- TELEPHONE PEDESTAL
- GAS METER
- ELECTRIC METER
- MAILBOX
- PULL BOX
- POWER POLE
- LIGHT POLE
- SPOT ELEVATION
- MAILBOX
- MONUMENT SIGN
- HIGHWAY SIGN
- IRON PIPE FOUND
- RAILROAD SPIKE FOUND
- IRON PIN FOUND
- PK NAIL FOUND
- IRON PIN SET
- PK NAIL SET
- HUB SET
- DRILL HOLE SET
- IRON PIPE FOUND
- RAILROAD SPIKE FOUND
- IRON PIN FOUND
- PK NAIL FOUND
- IRON PIN SET
- PK NAIL SET
- HUB SET
- DRILL HOLE SET

PROJECT WORK LIMITS

APPROX LIMITS OF SITE & BUILDING IMPROVEMENTS.
SUBJECT TO CONTRACTORS OPERATIONS AND
COORDINATION WITH OWNER & PROJECT MANAGER.



REVISIONS	DATE
INITIAL SUBMITTAL	1/25/23
OWNER REVIEW	2/7/23
CITY SUBMITTAL	2/14/23
ADDENDUM #1	3/10/23

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FREDERICK & ASSOCIATES
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419.340.2650 fax 419.726.1995
DFREDERICK@FREDERICKASSOC.COM

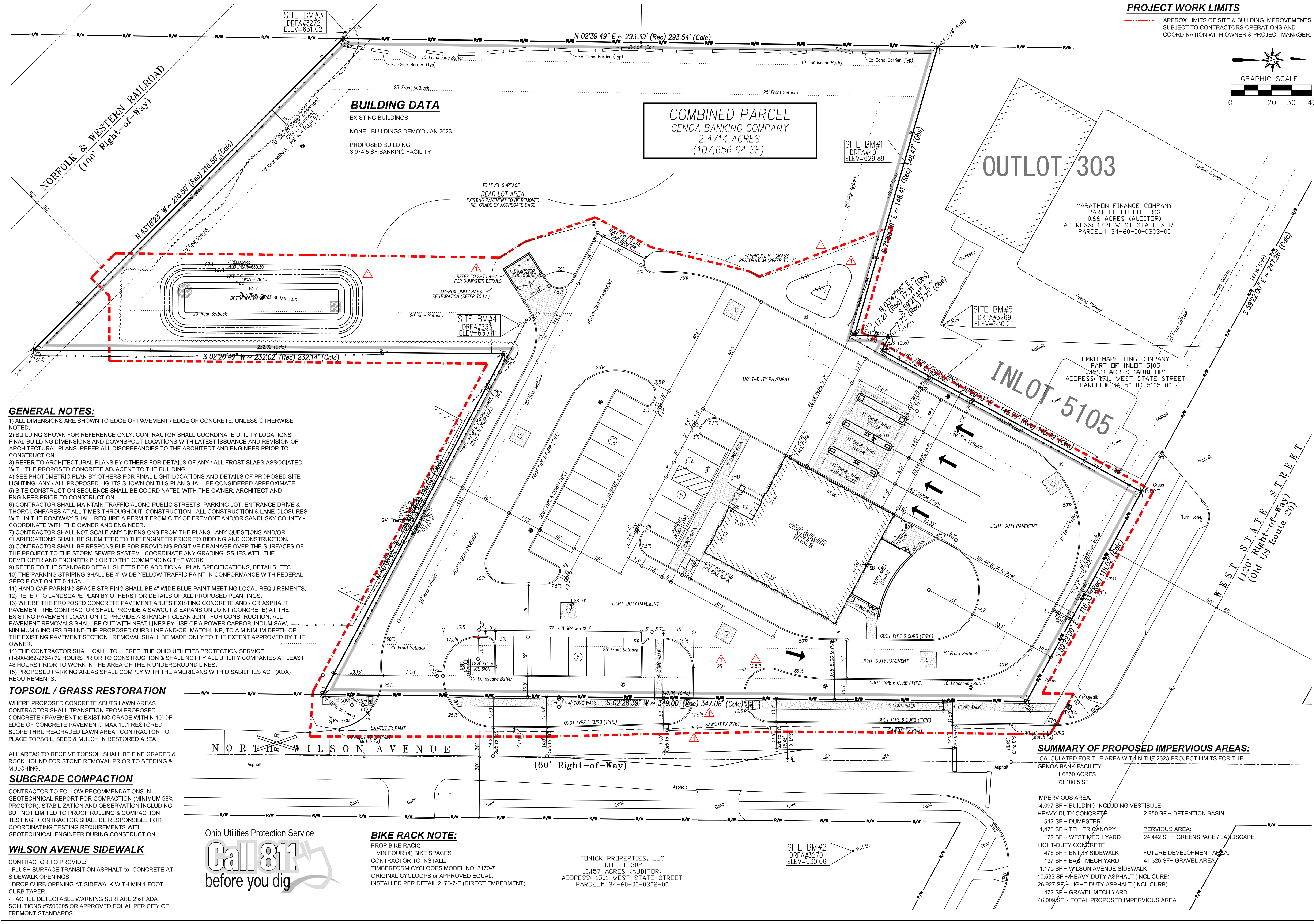
DEMOLITION PLAN
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

DATE: JAN 2023
DRAWN BY: DRF
JOB No.: 22-2328
SCALE: 1"= 30'

SHEET
C-5

Ohio Utilities Protection Service

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- GENERAL NOTES:**
- 1) ALL DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT / EDGE OF CONCRETE, UNLESS OTHERWISE NOTED.
 - 2) BUILDING SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS, FINAL BUILDING DIMENSIONS AND DOWNSPOUT LOCATIONS WITH LATEST ISSUANCE AND REVISION OF ARCHITECTURAL PLANS. REFER ALL DISCREPANCIES TO THE ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
 - 3) REFER TO ARCHITECTURAL PLANS BY OTHERS FOR DETAILS OF ANY / ALL FROST SLABS ASSOCIATED WITH THE PROPOSED CONCRETE ADJACENT TO THE BUILDING.
 - 4) SEE PHOTOMETRIC PLAN BY OTHERS FOR FINAL LIGHT LOCATIONS AND DETAILS OF PROPOSED SITE LIGHTING. ANY / ALL PROPOSED LIGHTS SHOWN ON THIS PLAN SHALL BE CONSIDERED APPROXIMATE.
 - 5) SITE CONSTRUCTION SEQUENCE SHALL BE COORDINATED WITH THE OWNER, ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
 - 6) CONTRACTOR SHALL MAINTAIN TRAFFIC ALONG PUBLIC STREETS, PARKING LOT, ENTRANCE DRIVE & THOROUGHFARES AT ALL TIMES THROUGHOUT CONSTRUCTION. ALL CONSTRUCTION & LANE CLOSURES WITHIN THE ROADWAY SHALL REQUIRE A PERMIT FROM CITY OF FREMONT AND/OR SANDUSKY COUNTY - COORDINATE WITH THE OWNER AND ENGINEER.
 - 7) CONTRACTOR SHALL NOT SCALE ANY DIMENSIONS FROM THE PLANS. ANY QUESTIONS AND/OR CLARIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO BIDDING AND CONSTRUCTION.
 - 8) CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE OVER THE SURFACES OF THE PROJECT TO THE STORM SEWER SYSTEM. COORDINATE ANY GRADING ISSUES WITH THE DEVELOPER AND ENGINEER PRIOR TO THE COMMENCING THE WORK.
 - 9) REFER TO THE STANDARD DETAIL SHEETS FOR ADDITIONAL PLAN SPECIFICATIONS, DETAILS, ETC.
 - 10) THE PARKING STRIPING SHALL BE 4" WIDE YELLOW TRAFFIC PAINT IN CONFORMANCE WITH FEDERAL SPECIFICATION TT-0-115A.
 - 11) HANDICAP PARKING SPACE STRIPING SHALL BE 4" WIDE BLUE PAINT MEETING LOCAL REQUIREMENTS.
 - 12) REFER TO LANDSCAPE PLAN BY OTHERS FOR DETAILS OF ALL PROPOSED PLANTINGS.
 - 13) WHERE THE PROPOSED CONCRETE PAVEMENT ABUTS EXISTING CONCRETE AND / OR ASPHALT PAVEMENT THE CONTRACTOR SHALL PROVIDE A SAWCUT & EXPANSION JOINT (CONCRETE) AT THE EXISTING PAVEMENT LOCATION TO PROVIDE A STRAIGHT CLEAN JOINT FOR CONSTRUCTION. ALL PAVEMENT REMOVALS SHALL BE CUT WITH NEAT LINES BY USE OF A POWER CARBORUNDUM SAW, MINIMUM 6 INCHES BEHIND THE PROPOSED CURB LINE AND/OR MATCHLINE. TO A MINIMUM DEPTH OF THE EXISTING PAVEMENT SECTION. REMOVAL SHALL BE MADE ONLY TO THE EXTENT APPROVED BY THE OWNER.
 - 14) THE CONTRACTOR SHALL CALL, TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 72 HOURS PRIOR TO CONSTRUCTION & SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE AREA OF THEIR UNDERGROUND LINES.
 - 15) PROPOSED PARKING AREAS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.

TOPSOIL / GRASS RESTORATION

WHERE PROPOSED CONCRETE ABUTS LAWN AREAS, CONTRACTOR SHALL TRANSITION FROM PROPOSED CONCRETE / PAVEMENT TO EXISTING GRADE WITHIN 10' OF EDGE OF CONCRETE PAVEMENT. MAX 10:1 RESTORED SLOPE THRU RE-GRADED LAWN AREA. CONTRACTOR TO PLACE TOPSOIL, SEED & MULCH IN RESTORED AREA.

ALL AREAS TO RECEIVE TOPSOIL SHALL BE FINE GRADED & ROCK HOUND FOR STONE REMOVAL PRIOR TO SEEDING & MULCHING.

SUBGRADE COMPACTION

CONTRACTOR TO FOLLOW RECOMMENDATIONS IN GEOTECHNICAL REPORT FOR COMPACTION (MINIMUM 98% PROCTOR), STABILIZATION AND OBSERVATION INCLUDING BUT NOT LIMITED TO PROOF ROLLING & COMPACTION TESTING. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TESTING REQUIREMENTS WITH GEOTECHNICAL ENGINEER DURING CONSTRUCTION.

WILSON AVENUE SIDEWALK

CONTRACTOR TO PROVIDE:

- FLUSH SURFACE TRANSITION ASPHALT-to-CONCRETE AT SIDEWALK OPENINGS.
- DROP CURB OPENING AT SIDEWALK WITH MIN 1 FOOT CURB TAPER
- TACTILE DETECTABLE WARNING SURFACE 2'x4' ADA SOLUTIONS #7500005 OR APPROVED EQUAL PER CITY OF FREMONT STANDARDS



BIKE RACK NOTE:

PROP BIKE RACK:
MIN FOUR (4) BIKE SPACES
CONTRACTOR TO INSTALL:
TIMBERFORM CYCLOOPS MODEL NO. 2170-7
ORIGINAL CYCLOOPS OR APPROVED EQUAL.
INSTALLED PER DETAIL 2170-7-E (DIRECT EMBEDMENT)

TOMICK PROPERTIES, LLC
OUTLOT 302
10.157 ACRES (AUDITOR)
ADDRESS: 1501 WEST STATE STREET
PARCEL# 34-60-00-0302-00

SITE BM#2
DRFA#3270
ELEV=630.06

SUMMARY OF PROPOSED IMPERVIOUS AREAS:
CALCULATED FOR THE AREA WITHIN THE 2023 PROJECT LIMITS FOR THE GENOA BANK FACILITY

1.6850 ACRES	73,400.5 SF
IMPERVIOUS AREA:	
4,097 SF ~ BUILDING INCLUDING VESTIBULE	
HEAVY-DUTY CONCRETE	2,950 SF ~ DETENTION BASIN
542 SF ~ DUMPSTER	
1,478 SF ~ TELLER CANOPY	
172 SF ~ WEST MECH YARD	
LIGHT-DUTY CONCRETE	
476 SF ~ ENTRY SIDEWALK	
137 SF ~ EAST MECH YARD	
1,175 SF ~ WILSON AVENUE SIDEWALK	
10,533 SF ~ HEAVY-DUTY ASPHALT (INCL CURB)	
26,927 SF ~ LIGHT-DUTY ASPHALT (INCL CURB)	
472 SF ~ GRAVEL MECH YARD	
46,009 SF ~ TOTAL PROPOSED IMPERVIOUS AREA	
PERVIOUS AREA:	
24,442 SF ~ GREENSPACE / LANDSCAPE	
FUTURE DEVELOPMENT AREA:	
41,326 SF ~ GRAVEL AREA	

PROJECT WORK LIMITS

APPROX LIMITS OF SITE & BUILDING IMPROVEMENTS, SUBJECT TO CONTRACTORS OPERATIONS AND COORDINATION WITH OWNER & PROJECT MANAGER.

GRAPHIC SCALE
0 20 30 40

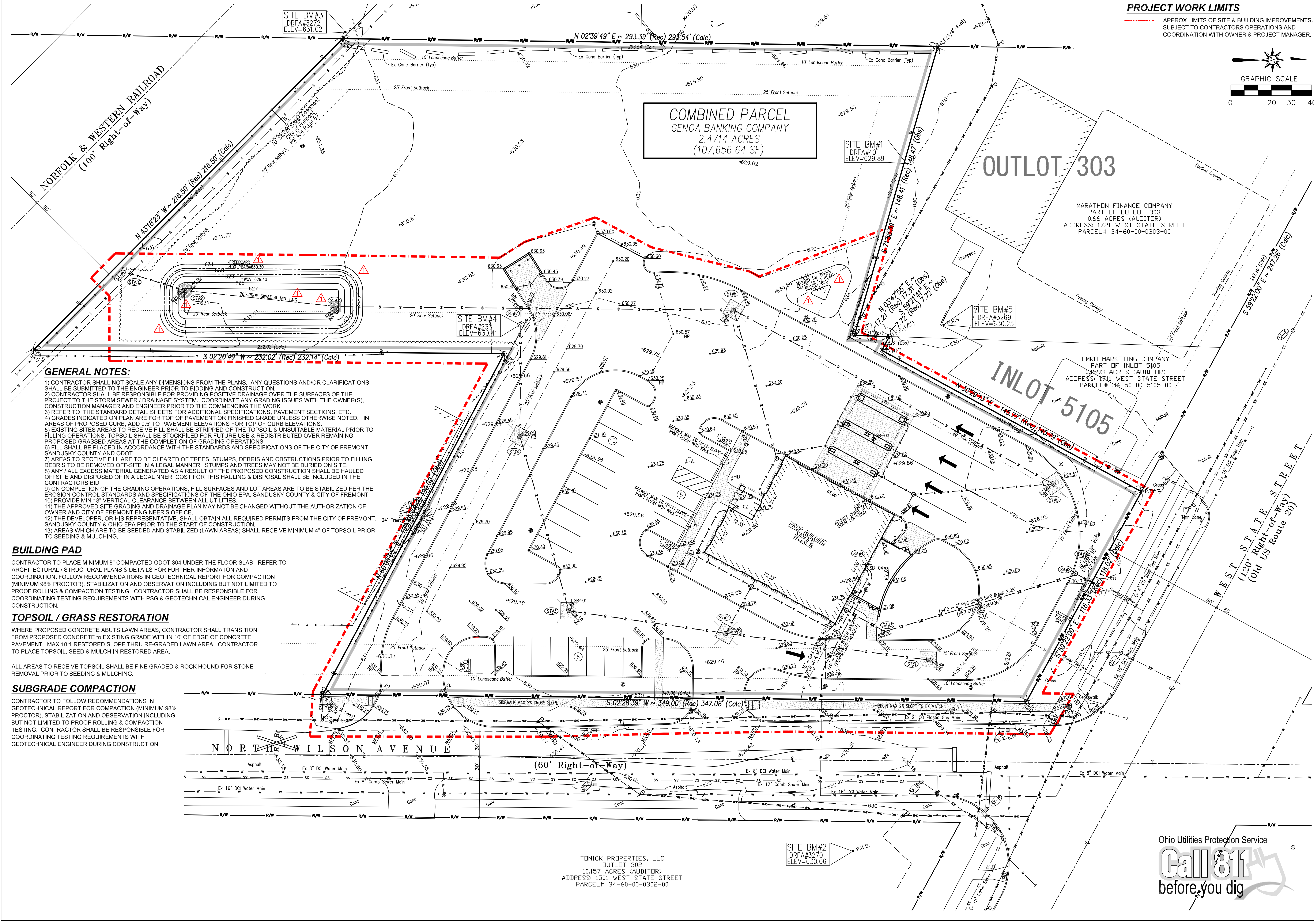
REVISIONS	DATE
INITIAL SUBMITTAL	1/25/23
OWNER REVIEW	2/7/23
CITY SUBMITTAL	2/14/23
ADDENDUM #1	3/10/23

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419.340.2650
DFREDERICK@FREDERICKASSOC.COM

DIMENSIONAL SITE PLAN
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

DATE:	JAN 2023
DRAWN BY:	DRF
JOB No.:	22-2328
SCALE:	1"= 20'
SHEET	C-6



PROJECT WORK LIMITS

APPROX LIMITS OF SITE & BUILDING IMPROVEMENTS. SUBJECT TO CONTRACTORS OPERATIONS AND COORDINATION WITH OWNER & PROJECT MANAGER.

GRAPHIC SCALE

0 20 30 40

REVISIONS	DATE
INITIAL SUBMITTAL	1/25/23
OWNER REVIEW	2/7/23
CITY SUBMITTAL	2/14/23
ADDENDUM #1	3/10/23

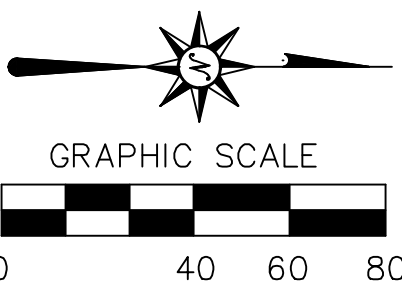
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GRADING PLAN
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

DATE:	JAN 2023
DRAWN BY:	DRF
JOB No.:	22-2328
SCALE:	1"=20'
SHEET	C-7





APPROX LIMITS OF SITE & BUILDING IMPROVEMENTS
SUBJECT TO CONTRACTORS OPERATIONS AND
COORDINATION WITH OWNER & PROJECT MANAGER.

NOTE: DETENTION BASIN HAS BEEN SIZED TO ACCOUNT FOR THE 1.6448 ACRE DISTURBED AREA (PHASE I)
UNDEVELOPED REAR AREA TO REMAIN GRAVEL 0.8266 ACRE (FUTURE)

PRE-DEVELOPMENT	GB PH 1	REAR FUTURE	% IMPERVIOUS =	65%
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STORM SEWERS SHALL BE DESIGNED TO FLOW JUST FULL FOR A 5 YEAR STORM - MANNING'S FLOW CAPACITY MUST BE GREATER THAN RUNOFF (CFS)
MANNING'S n = 0.013

USE A 10 YEAR STORM EVENT TO CHECK THE HYDRAULIC GRADE LINE - MINIMUM PAVEMENT GUTTER ELEVATIONS MUST BE AT OR ABOVE 10 YEAR HYDRAULIC GRADE LINE
MANNING'S $n = 0.013$



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AS PART OF ADDEDUM #1, GENERAL NOTE
DETAILS MOVED FROM SHEET C-13:
- CATCH BASIN UNDERDRAIN DETAIL
- SHALLOW UTILITY CLEARANCE DETAIL
- TYPICAL PIPE BACKFILL DETAIL
DETAILS MOVED FROM SHEET C-13:

ALL DRAWINGS
ARE AND SHALL REMAIN
THE PROPERTY OF D.R.
FREDERICK & ASSOCIATES,
AND MAY NOT BE USED,
DUPLICATED, OR ALTERED
WITHOUT THE WRITTEN
CONSENT OF THE
ENGINEER

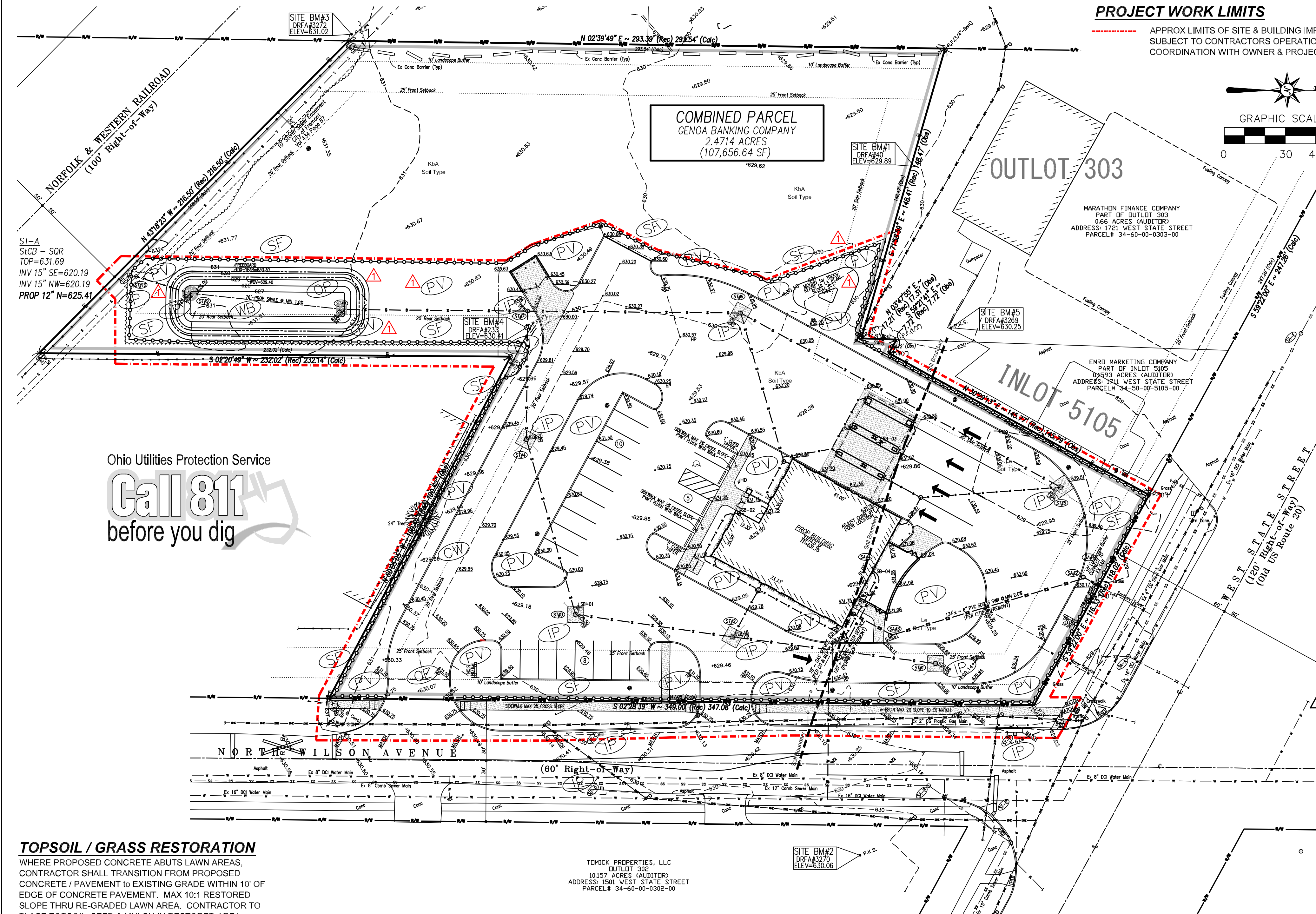
DR **FREDERICK & ASSOCIATES**
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4645 N. SUMMIT STREET TOLEDO, OHIO 43611
419.340.2650 fax 419.726.1995
DFREDERICK@FREDERICKASSOC.COM

STORM SEWER COMPUTATIONS
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

DATE:	JAN 2023
DRAWN BY:	DRF
JOB No.:	22-2328
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SHEET

C-9



Ohio Utilities Protection Service
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TOPSOIL / GRASS RESTORATION
WHERE PROPOSED CONCRETE ABUTS LAWN AREAS, CONTRACTOR SHALL TRANSITION FROM PROPOSED CONCRETE / PAVEMENT TO EXISTING GRADE WITHIN 10' OF EDGE OF CONCRETE PAVEMENT. MAX 10:1 RESTORED SLOPE THRU RE-GRADED LAWN AREA. CONTRACTOR TO PLACE TOPSOIL, SEED & MULCH IN RESTORED AREA.

ALL AREAS TO RECEIVE TOPSOIL SHALL BE FINE GRADED & ROCK HOUND FOR STONE REMOVAL PRIOR TO SEEDING & MULCHING.

SUBGRADE COMPACTION
CONTRACTOR TO FOLLOW RECOMMENDATIONS IN GEOTECHNICAL REPORT FOR COMPACTION (MINIMUM 98% PROCTOR). STABILIZATION AND OBSERVATION INCLUDING BUT NOT LIMITED TO PROOF ROLLING & COMPACTION TESTING. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TESTING REQUIREMENTS WITH GEOTECHNICAL ENGINEER DURING CONSTRUCTION.

SOIL DATA:
BASED ON THE WEB SOIL SURVEY (HTTP://WEBSOILSURVEY.SC.EGOV.USDA.GOV) DOWNLOADED MAY 2022 THE SITE IS COMPOSED OF THE FOLLOWING:
KbA - KIBBIE FINE SANDY LOAM, 0 TO 2 PERCENT SLOPES (K FACTOR FOR WHOLE SOIL = 0.24, LOW RISK OF EROSION)
Lb - LENAWEE SILTY CLAY LOAM, 0 TO 1 PERCENT SLOPES (K FACTOR FOR WHOLE SOIL = 0.32, LOW RISK OF EROSION)

A GEOTECHNICAL / SUBSURFACE EXPLORATION REPORT HAS NOT BEEN COMPLETED BY:
CT CONSULTANT, INC. PROJ No. 229493 DATED: FEB 15, 2023 THE CONTRACTOR SHALL REQUEST A COPY OF ANY SUCH REPORTS THAT MAY BE GENERATED SUBSEQUENT TO THIS PLAN PREPARATION PRIOR TO THE START OF CONSTRUCTION AND ABIDE BY ALL ADDITIONAL REQUIREMENTS CONTAINED WITHIN SUCH REPORTS. WHETHER SHOWN ON THESE PLANS OR NOT, ANY DISCREPANCIES BETWEEN SUCH REPORTS AND THESE PLANS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO CONSTRUCTION.

PERMANENT STABILIZATION REQUIREMENTS:

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL REMAIN DORMANT FOR ONE YEAR OR MORE	WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN 2 DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN 7 DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

TEMPORARY STABILIZATION REQUIREMENTS:

ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE & NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE (INCLUDES STOCKPILES)	WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA, FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST 7 DAYS PRIOR TO TRANSFER TO PERMIT COVERAGE FOR INDIVIDUAL LOTS
DISTURBED AREAS THAT MAY BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER

CONSTRUCTION ENTRANCE / ACCESS:

CONTRACTOR SHALL CONSTRUCT CONSTRUCTION ACCESS DRIVE PER DETAIL (SHT C-12) AS REQUIRED BY OHIO EPA NOI PERMIT. CONSTRUCTION TRAFFIC TO ENTER/EXIT VIA EAST CONSTRUCTION DRIVE (WILSON AVENUE). CONSTRUCTION TRAFFIC IS NOT PERMITTED TO ENTER/EXIT TO WEST STATE STREET.

CONSTRUCTION DRIVE SHALL BE MONITORED AND MAINTAINED DURING CONSTRUCTION OF THE BUILDING & SITE UNTIL DEVELOPMENT AREA IS SUITABLY STABILIZED.

BMP MAINTENANCE:

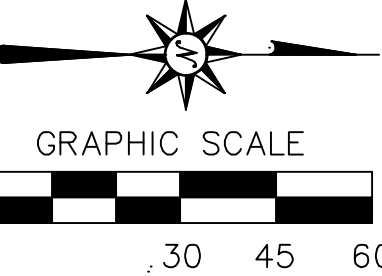
- 1.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENTATION AND EROSION CONTROL FEATURES ON THIS PROJECT. ANY SEDIMENT OR DEBRIS THAT HAS REDUCED THE EFFICIENCY OF A CONTROL MEASURES SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE IT AS PART OF THE COST FOR THE EROSION CONTROL MEASURES (NO ADDITIONAL COST TO OWNER).
- 2.) FOR BMPs THAT REQUIRE REPAIR OR MAINTENANCE, NON-SEDIMENT POND BMPs ARE TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT POND ARE TO BE REPAIRED OR CLEANED OUT WITHIN 10 DAYS OF INSPECTION.
- 3.) FOR BMPs NOT MEETING THE INTENDED FUNCTION, A NEW BMP SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION
- 4.) FOR MISSING BMPs REQUIRING INSTALLATION, THE BMP SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION

RECEIVING SURFACE WATERS:

INITIAL: GRANVILLE BLVD STORM SEWER
SOUTH TOWARDS NAPOLÉON ROAD
SUBSEQUENT SURFACE WATER BODY: MINNOW CREEK
(SUB-WATERSHED OF SANDUSKY RIVER)

PROJECT WORK LIMITS

APPROX LIMITS OF SITE & BUILDING IMPROVEMENTS. SUBJECT TO CONTRACTORS OPERATIONS AND COORDINATION WITH OWNER & PROJECT MANAGER.



TOTAL DISTURBED AREA: 1.6448 ACRES (71,649 SF)

NOI PERMIT NO: 2GC00000*AG

OHIO EPA ISSUE DATE: MONTH DAY, 2023

ALL REQUIREMENTS CONTAINED WITHIN THE OHIO EPA GENERAL PERMIT NO. OHC000005 SHALL BE ADHERED TO AT ALL TIMES THROUGHOUT CONSTRUCTION. A COPY OF THIS PERMIT SHALL BE ATTACHED TO THIS SWPPP PLAN AND MAINTAINED ONSITE THROUGHOUT CONSTRUCTION.

NAME & CONTACT INFORMATION FOR PERSON RESPONSIBLE FOR AUTHORIZING & AMENDING SWPPP

D.R. FREDERICK & ASSOCIATES
4645 NORTH SUMMIT STREET
TOLEDO, OHIO 43611
DEAN FREDERICK, PE, PS
PHONE: 419-340-2650

SWPPP LEGEND

- TEMPORARY BMPs**
- (SF) SILT FENCE CONSTRUCTION
 - (CE) CONSTRUCTION ENTRANCE
 - (IP) INLET PROTECTION
 - (CW) CONCRETE WASHOUT
 - (DC) DITCH CHECK
 - (CF) CONST FENCING / BARRICADES

SILT FENCE

INSTALLED ALONG THE PERIMETER OF THE SITE, DETENTION BASIN & DRAINAGE SWALE AS INDICATED.
LENGTH = 1,449 LF ±

- PERMANENT BMPs**
- (WB) DRY WATER QUALITY BASIN
 - (OP) OUTLET PROTECTION
 - (PV) PERMANENT VEGETATION

EROSION CONTROL NOTES:

- 1) THE LOCATION OF THE CONTRACTOR "LAY-DOWN AREA" SHALL BE COORDINATED WITH THE OWNER/DEVELOPER PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR "LAY-DOWN AREA" SHALL INCLUDE TRASH ENCLOSURES, PARKING AREAS, GENERAL CONTRACTOR OFFICES, FUEL TANK STORAGE AREAS, MATERIAL STORAGE AREAS, STAGING AREAS, ETC. CONTRACTOR SHALL RECORD THE LOCATION OF ALL OF THESE AREAS ON THE CONSTRUCTION PLANS FOR THE SOIL EROSION PERMIT & THE OHIO EPA NOI PERMIT AS REQUIRED.
- 2) CONTRACTOR SHALL HAVE THE SWPPP PLAN FOR THE PROJECT LOCATED "ON-SITE" IN AN AREA ACCESSIBLE BY THE GENERAL PUBLIC - 24 HOURS A DAY & 7 DAYS A WEEK. SWPPP PLAN SHALL BE ACCESSIBLE TO THE CITY OF FREMONT, SANDUSKY COUNTY & THE OHIO EPA.
- 3) SOIL EROSION AND SEDIMENT BEST PRACTICES (BMP) MEASURES WILL BE INSTALLED PRIOR TO START OF ANY CONSTRUCTION AND WILL BE MAINTAINED AT ALL TIMES UNTIL CONSTRUCTION HAS BEEN COMPLETED, INCLUDING ALL GRASS BEING ESTABLISHED AND/OR PERMANENT EROSION AND SEDIMENT BMP MEASURES ARE IN PLACE. ALL BMP MEASURES WILL BE INSTALLED TO THE SATISFACTION OF CITY OF FREMONT & SANDUSKY COUNTY. THE CITY OR COUNTY MAY REQUIRE WORK TO BE STOPPED AND THE STORM DRAINAGE OUTLET TO BE PLUGGED IF CONDITIONS BECOME UNSATISFACTORY.
- 4) CONTRACTOR TO NOTIFY CITY OF FREMONT & SANDUSKY COUNTY ENGINEER'S OFFICE THREE DAYS PRIOR TO STARTING CONSTRUCTION FOR PURPOSE OF MONITORING EROSION AND BMP MEASURES.
- 5) CONTRACTOR IS TO DESIGNATE A SITE DUMP / WASH AREA PRIOR TO STARTING CONSTRUCTION FOR THE PURPOSES OF WASHING OUT CONCRETE TRUCKS AND DUMPING NON-HAZARDOUS WASTE MATERIALS. DUMPING OR DISCHARGE OF ANY WASTE MATERIALS TO ANY PUBLIC SEWERS IS PROHIBITED. HAZARDOUS WASTES ARE TO BE REMOVED OFF SITE AND PROPERLY DISPOSED OF CONSISTENT WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- 6) ANY PARTY (TYPICALLY THE GENERAL CONTRACTOR) WHO HAS DAY-TO-DAY OPERATIONAL CONTROL OF ACTIVITIES AT THIS PROJECT, WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE SWPPS FOR THE SITE OR OTHER CONDITIONS AS SET FORTH IN THE PERMIT, MUST FILE A CO-PERMITTEE NOI WITH THE OHIO EPA. THIS IS THE SOLE RESPONSIBILITY OF THE CO-PERMITTEE AND SHALL BE DONE 21 DAYS BEFORE GROUND IS BROKEN.
- 7) THE NPDES PERMIT HOLDER SHALL PROVIDE QUALIFIED PERSONNEL TO CONDUCT SITE INSPECTIONS ENSURING PROPER FUNCTION OF THE EROSION AND SEDIMENTATION CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED ONCE EVERY SEVEN CALENDAR DAYS OR WITHIN 24 HOURS OF A 1/2 INCH OR GREATER STORM EVENT. A WRITTEN LOG OF THESE INSPECTIONS MUST BECOME PART OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPP). THIS LOG SHOULD INDICATE THE DATE OF THE INSPECTION, NAME OF INSPECTOR, WEATHER CONDITIONS, OBSERVATIONS, ACTIONS TAKEN TO CORRECT ANY PROBLEMS AND THE DATE ACTION WAS TAKEN.
- 8) SOLID, SANITARY AND TOXIC WASTE MUST BE DISPOSED OF IN A PROPER MANNER IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. IT IS PROHIBITED TO BURN, BURY OR POUR OUT ONTO THE GROUND OR INTO STORM SEWERS ANY SOLVENTS, PAINTS, STAINS, GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTIFREEZE, CEMENT CURING COMPOUNDS AND ANY OTHER SUCH TOXIC WASTES. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN A DIKED, DESIGNATED AREA WHERE THE WASTEWATER CAN BE COLLECTED AND DISPOSED OF PROPERLY WHEN THEY HARDEN. STORAGE TANKS SHOULD BE LOCATED IN DIKED AREAS AWAY FROM ANY DRAINAGE CHANNELS. THE DIKED AREA SHOULD HOLD A VOLUME 10% OF THE LARGEST TANK.
- 9) PROVIDE FOR TEMPORARY AND PERMANENT SEEDING, MULCHING, BLANKETING, ETC. FOR ALL AREAS AT FINAL GRADE OR WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED FOR 14 DAYS OR LONGER. STABILIZATION TO OCCUR WITHIN 7 DAYS OF LAST ACTIVITY.
- 10) GRADED SLOPES AND DENuded AREAS GREATER THEN 5% SLOPE SHALL BE TEMPORARILY STABILIZED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- 11) CONTRACTOR SHALL ESTABLISH PERMANENT VEGETATION FOR ALL DISTURBED AREAS UPON COMPLETION OF CONSTRUCTION. PREVIOUSLY STOCKPILED TOPSOIL SHALL BE REDISTRIBUTED OVER GRASSED AREAS (MIN 4" DEPTH) PRIOR TO PERMANENT SEEDING OPERATIONS.
- 12) CONTRACTOR SHALL ABIDE BY ALL APPROPRIATE REGULATIONS SET FORTH BY CITY OF FREMONT, SANDUSKY COUNTY & THE OHIO EPA FOR EROSION AND SEDIMENT CONTROL MEASURES.
- 13) SEE THE FOLLOWING SHEETS FOR INLET PROTECTION DETAILS:
 - PAVED AREAS - SHEET C-12
 - GRASSED AREAS - SHEET C-12
- 14) STORMWATER PERMITS TO BE ACQUIRED:
 - OHIO EPA NOI PERMIT
 - CITY OF FREMONT EROSION CONTROL PERMIT
- 15) AREA SUMMARY:
 - OVERALL PARCEL AREA = 2.4714 ACRES (107,657 SF)
 - PROPOSED DISTURBED AREA = 1.6448 ACRES (71,649 SF)
 - AREA TRIBUTARY TO PROPOSED DRY DETENTION BASIN = 1.6448 ACRES
 - 16) PROPOSED IMPERVIOUS AREA = 46,009 SF (SEE SHEET C-6)
 - EXISTING IMPERVIOUS TO BE REMOVED = 54,483 SF (SEE SHEET C-5)
 - NET DECREASE IN IMPERVIOUS AREA = 8,474 SF
 - NOTE: DATA FOR 1.6448 ACRE DISTURBED AREA. MAJORITY OF PROPOSED IMPERVIOUS AREA LOCATED WITHIN EXISTING BUILDING/ASPHALT AREA.
 - 17) WEIGHTED 'C' FACTOR COMPUTATIONS WITHIN 1.6448 ACRE CURRENT TRIBUTARY AREA:
 - EXISTING CONDITIONS WEIGHTED 'C' FACTOR = 0.80
 - 14,330 SF PERVIOUS (20%)
 - 57,319 SF IMPERVIOUS (80%)
 - PROPOSED CONDITIONS WEIGHTED 'C' FACTOR = 0.81
 - 25,077 SF PERVIOUS (35%)
 - 46,572 SF IMPERVIOUS (65%)
 - 18) EXISTING LAND USE = COMMERCIAL/INDUSTRIAL
 - PROPOSED LAND USE = COMMERCIAL BANKING FACILITY BUILDING & SITE IMPROVEMENTS
 - 19) THERE IS NO RECORD OF CONTAMINATED SOIL ONSITE OR OF PRIOR LAND USES THAT INVOLVED SOLID WASTE MANAGEMENT OR HAZARDOUS WASTES.
 - 20) THERE ARE NO EXISTING WETLANDS ON THE SUBJECT PROPERTY.
 - 21) PRIOR TO CONSTRUCTION A SWPPP BINDER SHALL BE CREATED FOR REFERENCE BY THE SITE CONTRACTORS. THIS BINDER SHALL BE KEPT ONSITE THROUGHOUT CONSTRUCTION. THIS BINDER SHALL INCLUDE THE FOLLOWING:
 - PROJECT COVER SHEET CONTAINING:
 - PROJECT CONTACT INFORMATION
 - SWPPP PREPARATION DATE
 - ANTICIPATED CONSTRUCTION TIMELINE
 - A COPY OF THIS PLAN SET
 - OHIO EPA NPDES CONSTRUCTION STORM WATER GENERAL PERMIT
 - COPY OF NOI PERMIT FOR THE PROJECT
 - COPY OF ALL NOI CO-PERMITTEE APPLICATIONS FOR THE PROJECT
 - SUBCONTRACTOR CERTIFICATION AGREEMENTS
 - SWPPP INSPECTION REPORTS
 - CORRECTIVE ACTION LOGS
 - SWPPP AMENDMENT/MODIFICATION LOGS
 - GRADING & STABILIZATION ACTIVITY LOG
 - DRAINAGE CALCULATIONS W/ TRIBUTARY AREA MAP
 - 22) NO ASPHALT OR CONCRETE BATCH PLANTS SHALL BE LOCATED ONSITE DURING CONSTRUCTION.
 - 23) OFFSITE BORROW PITS ARE NOT ANTICIPATED FOR THIS PROJECT.

TENTATIVE CONSTRUCTION SCHEDULE

- START OF CONSTRUCTION: APRIL 1, 2023
END OF CONSTRUCTION: DECEMBER 31, 2023
1. OBTAIN REQUIRED PERMITS FROM OHIO EPA, SANDUSKY COUNTY & CITY OF FREMONT.
 2. CONSTRUCTION OF SILT FENCE & CONSTRUCTION ENTRANCE.
 3. CONSTRUCT SEDIMENT STORAGE BASIN WITHIN PROPOSED DETENTION AT 12" OUTLET ST#9. MONITOR & MAINTAIN DETENTION BASIN DURING CONSTRUCTION FOR SEDIMENT REMOVAL PER OHIO EPA REQUIREMENTS.
 4. DEMOLITION OF ITEMS DESIGNATED FOR REMOVAL.
 5. MASS GRADING OF SITE INCLUDING DRY DETENTION BASIN GRADING, GRAVEL AREA RE-GRADE & TOPSOIL REMOVAL AND/OR STOCKPILING. ALL STOCKPILE AREAS SHALL REQUIRE TEMPORARY SEEDING W/ SILT FENCE AROUND THE PERIMETER.
 6. PROPOSED BUILDING - FOUNDATION & UTILITY CONSTRUCTION. (PROVIDE INLET PROTECTION & OUTLET PROTECTION AT DESIGNATED DRAINAGE STRUCTURES)
 7. TEMPORARY STABILIZATION OF DISTURBED AREAS. (THROUGHOUT CONSTRUCTION)
 8. CONTINUING MAINTENANCE OF SEDIMENT & EROSION CONTROL PRACTICES. (THROUGHOUT CONSTRUCTION)
 9. INSTALL ASPHALT / CONCRETE REQUIRED TO MAINTAIN ACCESS TO GENOA BANK FACILITY & PAVEMENT SUBGRADE.
 10. BUILDING CONSTRUCTION - INTERIOR.
 11. PAVEMENT CONSTRUCTION. (UTILIZE CONCRETE WASHOUT FACILITY)
 12. PERMANENT SEEDING, LANDSCAPING AND MULCHING.
 13. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
 14. REMOVAL OF SEDIMENT BASIN & DETENTION BASIN RESTORATION INCLUDING ROCK SWALE PER PLAN. STABILIZE EXCAVATED AREA WITH MULCH MAY BE TO REDUCE EROSION.
 15. FILE NOTICE OF TERMINATION WITH ALL PERMIT AGENCIES.

POST CONSTRUCTION BMP FOR STORMWATER TREATMENT:

1. THE EXISTING SITE, AS IT EXISTED PRIOR TO DEMOLITION AND CONSTRUCTION, DID NOT CONTAIN ANY DETENTION FACILITIES OR OUTLET CONTROL MEASURES. THE PROPOSED DRY DETENTION BASIN PROVIDES STORMWATER TREATMENT & DETENTION FOR THE OVERALL SITE IMPROVEMENTS. THIS PROPOSED DRY DETENTION BASIN OUTLETS TO THE EXISTING 15" PUBLIC STORM SEWER ON THE SOUTH SIDE OF THE PARCEL ADJACENT TO THE RAILROAD TRACKS.
2. STORMWATER TREATMENT FOR THE PROPOSED DEVELOPMENT AREA SHALL BE PROVIDED AS FOLLOWS: PROPOSED DRY DETENTION BASIN SHALL BE CONSTRUCTED, PER SHEET C-7 & C-8, TO PROVIDE TREATMENT OF THE WATER QUALITY VOLUME & DETENTION OF THE 100 YEAR STORM EVENT.
3. SUMMARY OF STORAGE PROVIDED IN PROPOSED DRY DETENTION BASIN:
 - WATER QUALITY VOLUME FOR CURRENT DEVELOPMENT = 4,299 CF
 - 100 YEAR STORAGE VOLUME FOR CURRENT DEVELOPMENT = 5,475 CF
 - TOTAL VOLUME PROVIDED = 7,487 CF
 - HIGH-WATER 630.27 ELEV VOLUME = 5,513 CF
4. SUMMARY OF ELEVATIONAL DATA FOR PROPOSED DRY DETENTION BASIN:
 - FREEBOARD ELEVATION = 631.00
 - 100 YEAR HIGH WATER ELEVATION = 630.27
 - WATER QUALITY VOLUME ELEVATION = 629.76
 - BOTTOM OF BASIN = 625.70 (INVERT OF PERFORATED PIPE AT OCS)
5. SUMMARY OF PROPOSED DRY DETENTION BASIN OUTLET: THE BASIN WILL OUTLET VIA GRAVITY SEWER TO AN EXISTING 15" STORM PIPE (EXISTING CB ST 'A') LOCATED SOUTH OF THE DETENTION BASIN - NORTH OF THE RAILROAD RIGHT-OF-WAY. THIS EXISTING STORM SEWER OUTLETS TO THE GRAVITY SEWER WITHIN THE GRANVILLE BOULEVARD RIGHT-OF-WAY AREA.

SEDIMENT TRACKING ON ROADWAYS:

PER CITY OF FREMONT, CONTRACTOR SHALL MONITOR ADJACENT PUBLIC ROADWAYS DURING CONSTRUCTION OF THE BUILDING AND SITE IMPROVEMENTS. ANY TRACKING OF MATERIALS FROM THE SITE ONTO THE CITY'S STREETS MUST BE IMMEDIATELY REMOVED WITH A STREET SWEEPER.

REVISIONS	DATE
INITIAL SUBMITTAL	1/25/23
OWNER REVIEW	2/7/23
CITY SUBMITTAL	2/14/23
ADDENDUM #1	3/10/23

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STORM WATER POLLUTION PREVENTION PLAN
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

DATE:	JAN 2023
DRAWN BY:	DRF
JOB No.:	22-2328
SCALE:	1"= 30'
SHEET	C-10

GENERAL INFORMATION

1. THE PLANS SHALL BE RETAINED ON SITE. A COPY OF THE NOI AND LETTER AUTHORIZING DISCHARGES UNDER THE GENERAL PERMIT SHALL BE POSTED AT THE SITE IN A PROMINENT PLACE FOR PUBLIC VIEWING, SUCH AS ALONGSIDE A BUILDING PERMIT NOT BE DISTURBED AREAS LESS THAN 1 ACRES). THE GENERAL CONTRACTOR SHALL MAKE PLANS AVAILABLE UPON REQUEST TO THE GOVERNING AGENCY APPROVING SEDIMENT AND EROSION PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS; OR IN THE CASE OF A STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM WITH A NPDES PERMIT TO THE MUNICIPAL OPERATOR OF THE STORM SEWER SYSTEM.

2. THE GOVERNING AGENCY MAY NOTIFY THE GENERAL CONTRACTOR AT ANY TIME THAT THE PLAN DOES NOT MEET ONE OR MORE OF THE MINIMUM REQUIREMENTS. IMMEDIATELY AFTER SUCH NOTIFICATION FROM THE GOVERNING AGENCY, THE GENERAL CONTRACTOR SHALL MAKE THE REQUIRED CHANGES TO THE PLAN AND SHALL SUBMIT TO THE GOVERNING AGENCY A WRITTEN CERTIFICATION THAT THE REQUESTED CHANGES HAVE BEEN MADE.

3. THE GENERAL CONTRACTOR SHALL ADVISE THE GOVERNING AGENCY OF ANY CHANGES IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO WATER OF THE UNITED STATES, OR IF THE STORM WATER POLLUTION PREVENTION PLAN PROVES TO BE INEFFECTIVE IN ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

4. THE GENERAL CONTRACTOR SHALL INFORM ALL SUBCONTRACTORS WHO WILL BE INVOLVED IN THE IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN OF THE TERMS AND CONDITIONS OF THIS GENERAL NPDES PERMIT THAT AUTHORIZES THE DISCHARGE OF STORM WATER FROM THE CONSTRUCTION SITE. BEFORE CONDUCTING ANY SERVICE AT THE SITE ALL SUBCONTRACTORS SHALL UNDERSTAND THE CONDITIONS AND STANDARDS OF THE POLLUTION PREVENTION PLAN AND THE SCHEDULE PROPOSED FOR THEIR IMPLEMENTATION.

GENERAL NOTES

1. SEDIMENT CONTROL DEVICES SHALL BE INSTALLED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.
2. SEDIMENT CONTROLS WILL BE INSTALLED WITHIN 7 DAYS OF GRUBBING ACTIVITIES.
3. THE DEVELOPER IS UNAWARE OF ANY EXISTING BRICKS, HARDENED CONCRETE, OR SOIL WASTE ONSITE THAT MAY CONTAIN CONTAMINATION THAT MAY LEACH CONSTITUENTS TO THE WATERS OF THE STATE. ALL BRICKS, HARDENED CONCRETE, AND SOIL WASTE SHALL BE REMOVED PRIOR TO CONSTRUCTION. SOIL SHALL BE FREE OF CONTAMINATION THAT MAY LEACH CONSTITUENTS TO THE WATERS OF THE STATE.
4. THE CONTRACTOR SHALL NOT DISPOSE OF ANY CONSTRUCTION WASTES ON THE SUBJECT PROPERTY (I.E. BURYING).
5. ALL CONSTRUCTION & DEMOLITION DEBRIS (C&D) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&D LANDFILL AS REQUIRED BY OHIO REVISED CODE (ORC) §374.
6. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL DESIGNATE AN AREA FOR MIXING & STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME, ASPHALT & CONCRETE. THESE AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DITCHES, FIELD DRAINS & ANY OTHER STORM WATER DRAINAGE STRUCTURES.
7. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL DESIGNATE AN AREA FOR FUEL STORAGE & VEHICLE FUELING AND MAINTENANCE. THESE AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DITCHES, FIELD DRAINS & ANY OTHER STORM WATER DRAINAGE STRUCTURES.
8. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL DEVELOP A SPILL PREVENTION CONTROL AND COUNTERMEASURES PLAN. IF ANY OF THE FOLLOWING APPLY:
 - ONE ABOVE GROUND STORAGE TANK OF 660 GALLONS OR MORE
 - TOTAL ABOVE GROUND STORAGE OF 1,330 GALLONS OR MORE
 - BELOW GROUND STORAGE OF 42,000 OF FUEL
 - 9. ANY SOILS CONTAMINATED WITH PETROLEUM OR OTHER CHEMICAL SPILLS MUST BE TREATED AND/OR DISPOSED OF IN AN OHIO EPA APPROVED LAND WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSD'S).
 - 10. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND SUPPLIES WILL INCLUDE DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE. ADDITIONAL EQUIPMENT AND MATERIALS WILL BE ADDED TO THIS LIST IF RECOMMENDED BY THE MANUFACTURER OF ANY PRODUCT TO BE USED ON THIS SITE. ALL SPILLS WILL BE CLEANED IMMEDIATELY AFTER DISCOVERY. THE OWNER, OR ITS DESIGNATED REPRESENTATIVE IS TO BE IMMEDIATELY NOTIFIED OF ANY SPILLS. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS MATERIAL. SPILL CONTROL PRACTICES WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THE REOCCURRENCE OF ANY SPILL AND INCLUDE MEASURES OF HOW TO RESPOND TO SIMILAR OCCURRENCES. A DESCRIPTION OF ANY SPILL THAT OCCURS WILL BE RECORDED INCLUDING WHAT CAUSED IT AND HOW EASY IT WAS TO CLEAN UP. THE GENERAL CONTRACTOR WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THE GENERAL CONTRACTOR WILL DESIGNATE THREE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THE NAMES OF THESE INDIVIDUALS WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE SITE OFFICE. FOR SMALL SPILLS, LESS THAN 25 GALLONS, THE CONTRACTOR SHALL FOLLOW THE GUIDELINES LISTED ABOVE, AS WELL ANY MANUFACTURER SPECIFIC GUIDELINES. PETROLEUM BASED AND CONCRETE CURING COMPOUNDS MUST HAVE SPECIAL HANDLING PROCEDURES ACCORDING TO THE MANUFACTURER AND OHIO EPA GUIDELINES. IN THE EVENT OF LARGER SPILLS, MORE THAN 25 GALLONS, THE CONTRACTOR SHALL FOLLOW THE GUIDELINES LISTED ABOVE, AS WELL ANY MANUFACTURER SPECIFIC GUIDELINES AND CONTACT THE OHIO EPA, 1-800-282-9378, THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC), WITHIN 30 MINUTES OF THE SPILL. ALL SPILLS OF TOXIC OR HAZARDOUS MATERIAL MUST BE REPORTED TO THE OHIO EPA, THE LOCAL FIRE DEPARTMENT AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) REGARDLESS OF THE SIZE OF THE SPILL.
 - 11. NO OPEN BURNING OF ANY CONSTRUCTION WASTE SHALL TAKE PLACE ONSITE.
 - 12. ANY DUST SUPPRESSANTS USED DURING CONSTRUCTION, SHALL NOT BE APPLIED ADJACENT TO ANY EXISTING OR PROPOSED STORM WATER CATCH BASINS OR DRAINAGE WAYS. USED OIL MAY NEVER BE USED AS A DUST SUPPRESSANT.
 - 13. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL OBTAIN ANY REQUIRED AIR POLLUTION PERMITS, AIR POLLUTION PERMITS WILL INCLUDE, BUT NOT BE LIMITED TO, MOBILE AIR POLLUTION, MOBILE CONCRETE BATCH PLANTS, MOBILE ASPHALT PLANTS, CONCRETE CRUSHERS, AND LARGE GENERATORS.
 - 14. FOR ALL RESTORATION AND DEMOLITION PROJECTS THE CONTRACTOR SHALL SUBMIT NOTIFICATION TO THE OHIO EPA, DIVISION OF AIR POLLUTION CONTROL, TO DETERMINE IF ASBESTOS CORRECTIVE ACTIONS ARE REQUIRED.
 - 15. PROCESS WASTEWATERS (E.G. EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ONSITE WASTE DISPOSAL, AND CONCRETE WASHOUTS) SHALL BE COLLECTED AND DISPOSED OF PROPERLY (E.G. TO A PUBLICLY OWNED TREATMENT WORKS).
 - 16. PROTECTED STORAGE AREAS SHALL BE PROVIDED FOR ALL INDUSTRIAL OR CONSTRUCTION MATERIALS TO MINIMIZE EXPOSURE OF SAID MATERIALS TO STORM WATER.
 - 17. AS ALLOWABLE PER PART II.G.2.I OF OHIO EPA GENERAL PERMIT OHCO00005, THE CONTRACTOR MAY SUBMIT A WAIVER TO REQUEST THE INSPECTION FREQUENCY BE LESS FREQUENT DURING WINTER MONTHS OR WHERE THE SITE WILL BE DORMANT FOR A LONG PERIOD, AS LONG AS THE SITE IS TEMPORARILY STABILIZED.

SILT FENCE

SILT FENCE IS A SEDIMENT-TRAPPING PRACTICE INSTALLED UTILIZING A GEOTEXTILE FENCE, TOPOGRAPHY AND VEGETATION TO CAUSE SEDIMENT DEPOSITION. SILT FENCE REDUCES RUNOFF'S ABILITY TO TRANSPORT SEDIMENT BY PONDING RUNOFF AND DISSIPATING SMALL RILLS OF CONCENTRATED FLOW INTO UNIFORM SHEET FLOW.

SPECIFICATIONS FOR SILT FENCE:

1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
 2. ALL SILT SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER IT NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
 3. TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
 4. WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
 5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
 6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 7. THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
 8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 6 INCHES OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LIE ON THE BOTTOM OF THE 6 INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
 9. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
 10. MAINTENANCE-SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.
- CRITERIA FOR SILT FENCE MATERIALS:
1. FENCE POSTS- THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2-BY-2 INCH HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FEET.
 2. SILT FENCE FABRIC (SEE DETAIL)

CONSTRUCTION ENTRANCE

A CONSTRUCTION ENTRANCE IS A STABILIZED PAD OF AGGREGATE OVER A GEOTEXTILE BASE AND IS USED TO REDUCE THE AMOUNT OF MUD TRACKED OFF-SITE WITH CONSTRUCTION TRAFFIC.

SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

1. STONE SIZE-TWO-INCH STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH-THE CONSTRUCTION ENTRANCE SHALL BE AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FEET. (EXCEPT ON SINGLE RESIDENCE LOT WHERE A 30-FOOT MINIMUM LENGTH APPLIES).
3. THICKNESS-THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK.
4. WIDTH-THE ENTRANCE SHALL BE AT LEAST 20 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. BEDDING-A GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL HAVE A GRAB TENSILE STRENGTH OF AT LEAST 200LB. AND MULLEN BURST STRENGTH OF AT LEAST 190LB.
6. CULVERT-A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FLOWING ACROSS THE ENTRANCE FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
7. WATER BAR-A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
8. MAINTENANCE-TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING AND SWEEPING.
9. CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION SITE SHALL BE RESTRICTED FROM MUDDY AREAS.

STORM DRAIN INLET PROTECTION

STORM DRAIN INLET PROTECTION CONSISTS OF A GEOTEXTILE BARRIER SUPPORTED AROUND OR ACROSS A STORM INLET. IT IS USED TO PREVENT SEDIMENT-LADEN WATER FROM ENTERING A STORM DRAIN SYSTEM. IT REDUCES THE RATE AT WHICH SEDIMENT-LADEN WATER MAY ENTER AN INLET, THEREBY CAUSING FLOODING AND SETTling OF SEDIMENT.

SPECIFICATION FOR CURB INLET PROTECTION

1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OF BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
2. THE WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC AND STONE. IT SHALL BE A CONTINUOUS PIECE WITH A MINIMUM WIDTH OF 6" TO 4" LONGER THAN THE THROAT LENGTH OF THE INLET, 2 FEET ON EACH SIDE. GEOTEXTILE FABRIC AND WIRE MESH SHALL BE ANCHORED 2 BEHIND THE CURB WITH EARTH.
3. GEOTEXTILE CLOTH SHALL HAVE THE EQUIVALENT OPENING SIZE (EOS) OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE AT LEAST THE SAME SIZE AS THE WIRE MESH.
4. THE WIRE MESH AND GEOTEXTILE CLOTH SHALL BE FORMED TO THE CONCRETE GUTTER AND AGAINST THE FACE OF THE CURB OF BOTH SIDES OF THE INLET.
5. TWO-INCH STONE SHALL BE PLACED OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER AS TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE CLOTH.

SPECIFICATIONS FOR INLET PROTECTION IN SWALES, DITCH LINES OR YARD INLETS

1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4 INCH CONSTRUCTION-GRADE LUMBER. THE 2-BY-4 INCH POSTS SHALL BE DRIVEN 1 FOOT INTO THE GROUND AT THE FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4 INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITHIN WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
5. GEOTEXTILE SHALL HAVE THE EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
6. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
7. A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT A DEPRESSION AND RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

CONSTRUCTION SITE MULCHING

APPLYING A PROTECTIVE LAYER OF MULCH, USUALLY OF STRAW, TO BARE SOIL IS USED TO ABATE EROSION BY SHIELDING IT FROM RAINDROP IMPACT TO HELPING ESTABLISH VEGETATION BY CONSERVING MOISTURE AND CREATING FAVORABLE CONDITIONS FOR SEEDS TO GERMINATE.

SPECIFICATIONS FOR MULCHING

1. MULCH AND/OR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS PER TIME TABLES ON PREVIOUS SHEET.
2. MULCH SHALL CONSIST OF ONE OF THE FOLLOWING:
 - STRAW- STRAW SHALL BE UNROTTED SMALL GRADE STRAW APPLIED AT THE RATE OF 2.0 TONS PER ACRE OR 90 LB. PER 1,000 SQUARE FEET (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION.
 - HYDROSEEDERS-WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB. PER ACRE OR 46 LB. PER 1,000 SQUARE FEET.
 - OTHER-OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 10-20 TONS PER ACRE.
3. MULCH ANCHORING-MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS AND ANCHORING MULCH:
 - MECHANICAL-A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 INCHES.
 - MULCHING NETTINGS-USING ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENTS AND ANCHORING SUGGESTIONS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
 - SYNTHETIC BINDERS-STRAW MULCH, APPLY AT THE RATE OF 160 GALLONS PER ACRE (0.1 GAL./SQ.) INTO THE MULCH AS BEING APPLIED ARE AS RECOMMENDED BY THE MANUFACTURER.
 - SYNTHETIC BINDERS-FOR STRAW MULCH, SYNTHETIC BINDER SUCH AS ACRYLIC (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OF EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
 - WOOD-CELLULOSE FIBER-WOOD-CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB. PER ACRE. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. PER 1,000 GALLONS OF WOOD CELLULOSE FIBER.

CONSTRUCTION SITE SEEDING

PERMANENT SEEDING INCLUDES THE SEEDBED PREPARATION, SEEDING, AND THE ESTABLISHMENT OF PERENNIAL VEGETATION USED TO PERMANENTLY STABILIZE SOIL, PREVENT SEDIMENT POLLUTION, REDUCE RUNOFF BY PROMOTING INFILTRATION, AND PROVIDE STORMWATER QUALITY BENEFITS OFFERED BY DENSE VEGETATION.

SPECIFICATIONS FOR PERMANENT SEEDING

SITE PREPARATION

1. A SUBSOILER, FLOW OR OTHER IMPELMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. (MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
2. THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.
3. RESOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

SEEDBED PREPARATION

1. LIME-AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACID SOIL, AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE 100 LB. PER 1,000 SQUARE FEET OR 2 TONS PER ACRE.
2. FERTILIZER-FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 12LB. PER 1,000 SQUARE FEET OR 500 LB. PER ACRE OF 10-10-10 OR 12-12-12 ANALYSIS.
3. THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED ON THE CONTOUR.

SEEDING DATES AND SOIL CONDITIONS

SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. THESE SEEDING DATES ARE IDEAL BUT, WITH THE USE OF ADDITIONAL MULCH AND IRRIGATION, SEEDINGS MAY BE MADE ANY TIME THROUGHOUT THE GROWING SEASON. TO ACHIEVE SEEDBED PREPARATION SHOULD BE DONE WHEN THE SOIL IS RICH AND MOIST. MULCH AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.

DORMANT SEEDINGS

1. SEEDINGS SHALL NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER.
- FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR.
- FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZER, APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE RATES BY 50% FOR THIS TYPE OF SEEDING.
- APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDED (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOIST SEEDBED.
- WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

MULCHING

1. MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT AREAS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION. DORMANT SEEDING SHALL BE MULCHED.
2. MATERIALS:
 - STRAW-IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 LB. PER 1,000 SQUARE FEET (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION.
 - HYDROSEEDERS-IF WOOD-CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB. PER ACRE OR 46 LB. PER 1,000 SQUARE FEET.
 - OTHER-OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
 - 3. STRAW MULCH ANCHORING METHODS - STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
 - MECHANICAL-A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 6 INCHES.
 - MULCH NETTINGS-NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
 - ASPHALT EMULSION-ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GALLONS PER ACRE.
 - SYNTHETIC BINDERS- SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
 - WOOD-CELLULOSE FIBER-WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB. PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. PER 100 GALLONS OF WOOD CELLULOSE FIBER.

IRRIGATION

1. PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY OR HOT WEATHER OR ON ADVERSE SITE CONDITIONS AS NEEDED FOR ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH.
2. EXCESSIVE IRRIGATION RATES SHALL BE AVOIDED AND IRRIGATION MONITORED TO PREVENT EROSION AND DAMAGE FROM RUNOFF.

SPECIFICATIONS FOR MAINTENANCE OF PERMANENT SEEDING

1. PERMANENT SEEDING SHALL NOT BE CONSIDERED ESTABLISHED FOR AT LEAST 1 FULL YEAR FROM THE TIME OF PLANTING. SEEDED AREAS SHALL BE INSPECTED FOR FAILURE AND VEGETATION REESTABLISHED AS NEEDED, DEPENDING ON SITE CONDITIONS. IT MAY BE NECESSARY TO IRRIGATE, FERTILIZE, OVERSEED, OR REESTABLISH PLANTINGS IN ORDER TO PROVIDE PERMANENT VEGETATION FOR ADEQUATE EROSION CONTROL.
2. MAINTENANCE FERTILIZATION RATES SHALL BE ESTABLISHED BY SOIL TEST RECOMMENDATIONS OR BY USING THE RATES SHOWN IN THE FOLLOWING TABLE.

TEMPORARY SEEDING

TEMPORARY SEEDING PROVIDES EROSION CONTROL ON AREAS IN BETWEEN OPERATIONS. GRASSES WHICH ARE QUICK TO ESTABLISH AND USUALLY MILK TOLERANT PROVIDE TEMPORARY SOIL STABILIZATION. IT EFFECTIVELY MINIMIZES THE AREA OF A CONSTRUCTION SITE PRONE TO EROSION AND SHOULD BE USED EVERYWHERE THE SEQUENCE OF CONSTRUCTION OPERATIONS ALLOWS VEGETATION TO BE ESTABLISHED.

1. STRUCTURAL EROSION AND SEDIMENT-CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF CONSTRUCTION SITE.
2. TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE. HOWEVER, TEMPORARY SEEDING SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEEDS AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEEDS WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
3. THE SEEDS BED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
4. SOIL AMENDMENTS-APPLICATIONS OF TEMPORARY VEGETATION SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENT. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDICT THE NEED FOR LIME AND FERTILIZER.
5. SEEDING METHOD-SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER AND A CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON SITE, AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

MULCHING TEMPORARY SEEDING

1. APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT AREAS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
2. MATERIALS:
 - STRAW-IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 PER 1,000 SQUARE FEET (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION.
 - HYDROSEEDERS-IF WOOD-CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB. PER ACRE OR 46 LB. PER 1,000 SQUARE FEET.
 - OTHER-OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
 - 3. STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.

ANCHORING METHODS:

1. MECHANICAL-A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINALLY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 6 INCHES.
- MULCH NETTINGS-NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATION RUNOFF AND ON CRITICAL SLOPES.
- ASPHALT EMULSION-ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GALLONS PER ACRE.
- SYNTHETIC BINDERS- SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
2. WOOD-CELLULOSE FIBER-WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750LB. PER ACRE. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. PER 100 GALLONS.

INSPECTION CODE:

AT MINIMUM, ALL EROSION AND SEDIMENT CONTROLS ON THE SITE ARE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCH OF RAIN PER 24 HOUR PERIOD.

QUALIFIED INSPECTION PERSONNEL (PROVIDED BY THE GENERAL CONTRACTOR) SHALL CONDUCT A WEEKLY INSPECTION OF THE CONSTRUCTION SITE, AND AFTER ANY STORM EVENT GREATER THAN 0.5 INCH OF RAIN PER 24 HOUR PERIOD, TO VERIFY THAT STABILIZATION AND STRUCTURAL CONTROLS ARE PERFORMING PROPERLY. INSPECTION PERSONNEL SHALL ALSO DETERMINE IF ADDITIONAL CONTROLS ARE REQUIRED. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM.

DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS.

LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE TRACKING.

FOR BMPs THAT REQUIRE REPAIR OR MAINTENANCE, NON-SEDIMENT POND BMPs ARE TO BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT PONDS ARE TO BE REPAIRED OR CLEANED OUT WITHIN 10 DAYS OF INSPECTION.

REPRODUCIBLE INSPECTION FORMS/CHECKLISTS ARE PROVIDED ON THE OHIO EPA WEB SITE FOR USE BY THE GENERAL CONTRACTOR'S QUALIFIED INSPECTION PERSONNEL. THESE CHECKLISTS SHALL BE COMPLETED AND SIGNED BY THE INSPECTOR AFTER EVERY INSPECTION.

ALL INSPECTION RECORDS SHALL BE KEPT FOR A MINIMUM OF 3 YEARS AFTER THE TERMINATION OF CONSTRUCTION ACTIVITIES.

STABILIZATION PRACTICES:

STABILIZATION PRACTICES MAY INCLUDE: TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, MATTING, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PHASING AND PROTECTION OF TREES.

THE GENERAL CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS IF THEY ARE TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 14 DAYS.

FOR AREAS WITHIN FIFTY (50) FEET OF ANY STREAM, FIRST ORDER OR LARGER, SOIL STABILIZATION PRACTICES SHALL BE INITIATED WITHIN TWO (2) DAYS ON ALL INACTIVE AREAS.

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE.

FOR DISTURBED AREAS THAT WILL BE LEFT IDE OVER WINTER, TEMPORARY EROSION CONTROLS SHALL BE APPLIED PRIOR TO THE ONSET OF WINTER WEATHER.

WHEN SEASONAL CONDITIONS PROHIBIT THE APPLICATION OF TEMPORARY OR PERMANENT SEEDING, NON-VEGETATIVE SOIL STABILIZATION PRACTICES SUCH AS MULCHING AND MATTING SHALL BE USED.

MATERIALS USED FOR STABILIZATION SHALL MEET REQUIREMENT OF ODOT SPECIFICATION ITEM 832.

OFFSITE VEHICLE TRACKING:

1. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED WITHIN SEVEN (7) DAY OF THE ONSET OF SITE DISTURBING ACTIVITIES.
2. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE DAILY SWEEPING OF PAVED STREET AREAS ADJACENT TO THE SITE ENTRANCE.
3. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSURING THAT ALL DUMP TRUCKS HAULING MATERIALS FROM THE CONSTRUCTION SITE WILL BE COVERED WITH TARPAILLINS.
4. TRUCK WASH OF AREAS WILL ONLY BE LOCATED IN BERMED AREAS OR IN AREAS THAT DRAIN TO SEDIMENT REMOVAL BASINS.

SOLID WASTE MATERIALS:

1. A SUFFICIENT NUMBER OF METAL DUMPSTERS WILL BE PROVIDED BY THE GENERAL CONTRACTOR.
2. A SUFFICIENT NUMBER OF METAL TRASH CANS WITH LIDS WILL BE USED ON-SITE.
3. SIGNS WILL BE AFFIXED TO WASTE CONTAINER ADVISING WHO SHOULD BE CONTACTED WHEN CONTAINERS NEEDED EMPTYING.
4. SIGNS WILL BE PREMINENTLY DISPLAYED IN WASTE STORAGE AREAS WARNING AGAINST DUMPING OF LIQUID OR HAZARDOUS WASTES IN CONTAINERS NOT SPECIFICALLY MARKED FOR SUCH DISPOSAL.
5. SITE PERSONNEL WILL BE ADVISED THAT NO CONSTRUCTION RELATED MATERIALS ARE TO BE BURIED ON-SITE AND THAT DISCIPLINARY ACTIONS WILL BE TAKEN AGAINST ALL OFFENDERS OF THIS POLICY. ALL SUBCONTRACTORS WILL BE GIVEN A WRITTEN COPY OF THIS POLICY.

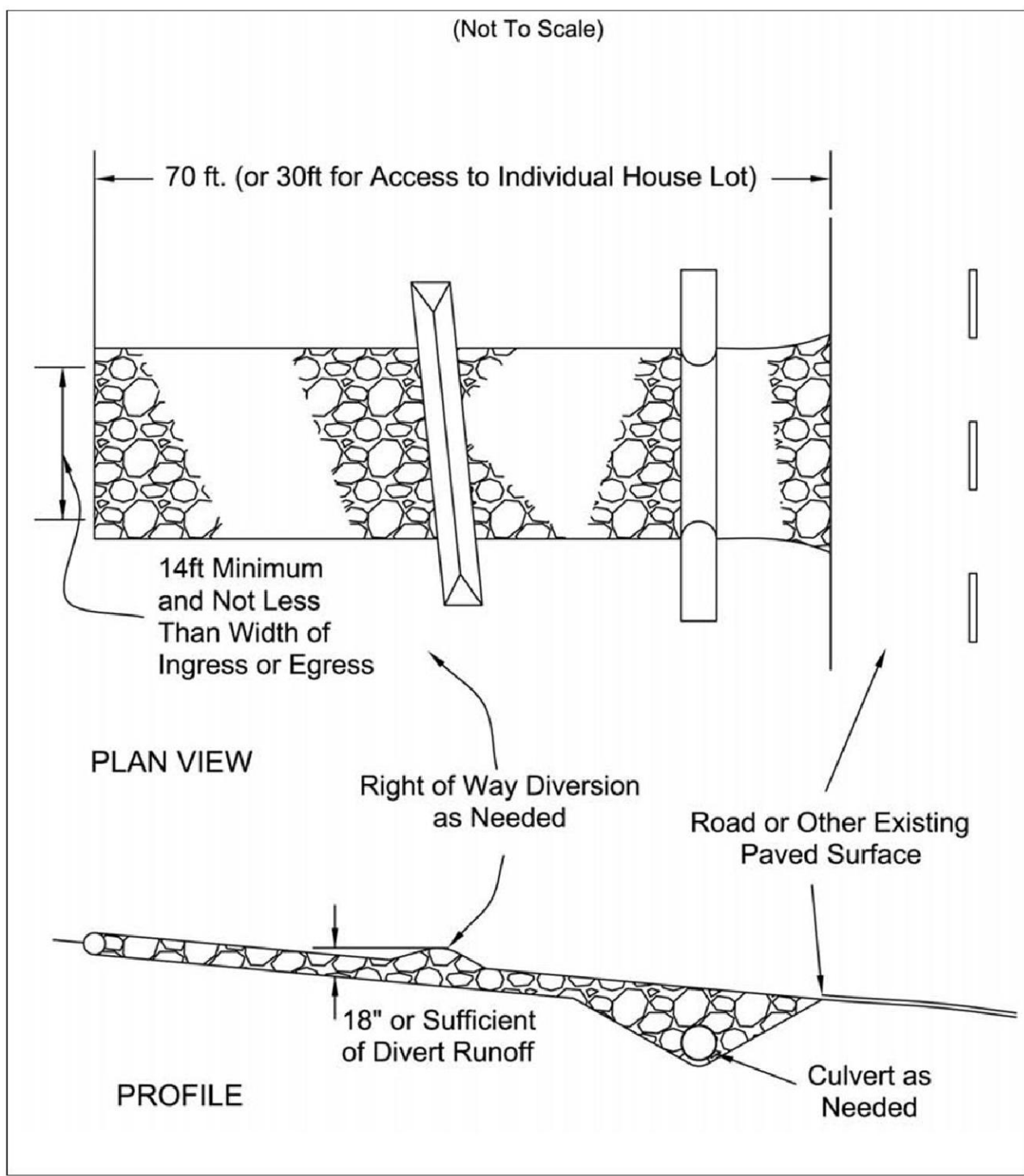
SANITARY WASTES:

1. A SUFFICIENT NUMBER OF PORTABLE SANITARY WASTE UNITS WILL BE PLACED ON-SITE; WASTES FROM THESE UNITS WILL BE COLLECTED AS SPECIFIED BY THE WASTE HAULER.
2. SIGNS WILL BE POSTED SPECIFYING WHERE NEARBY OFF-SITE FACILITIES ARE AVAILABLE.

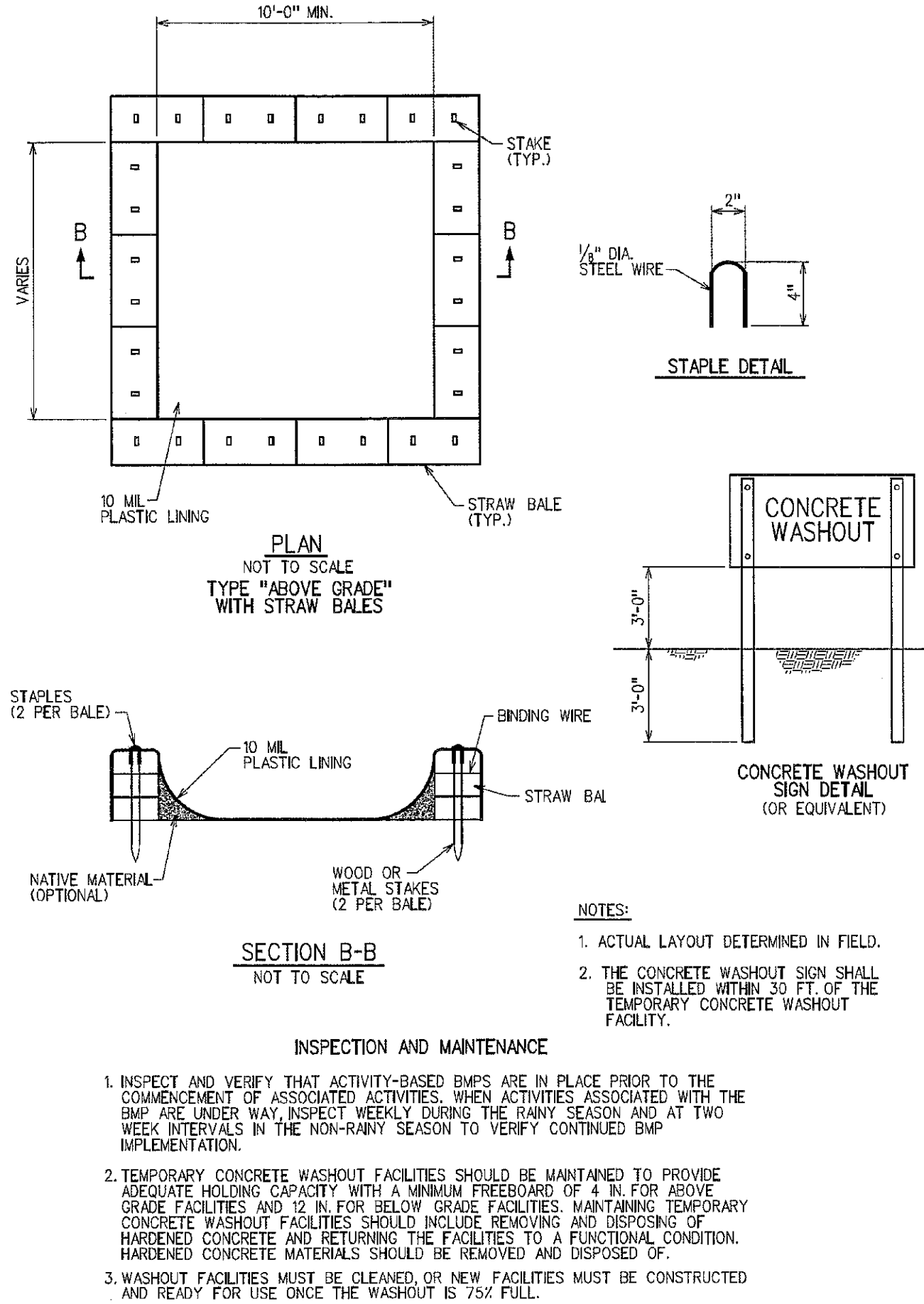
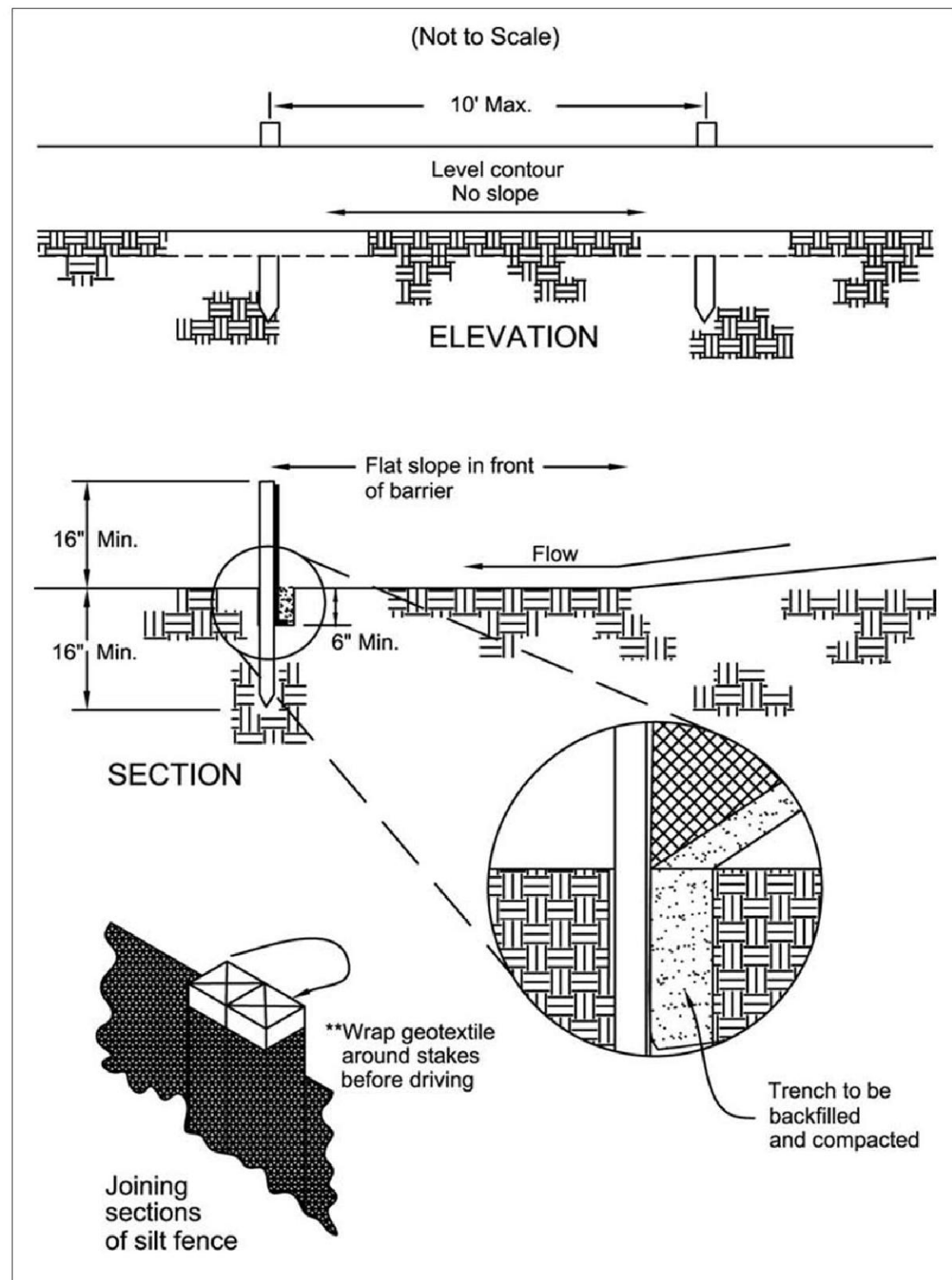
HAZARDOUS MATERIALS:

- HAZARDOUS WASTES WILL BE COLLECTED DAILY AND DISPOSED OF IN SECURELY LIDDED CONTAINERS.
1. A SUFFICIENT NUMBER OF CONTAINERS WILL BE PROVIDED FOR HAZARDOUS BUILDING MATERIAL DISPOSAL. THESE WILL BE PROVIDED BY THE GENERAL CONTRACTOR.
2. SIGNS WILL BE PLACED ON BUILDING MATERIAL STORAGE CONTAINERS AUTHORIZING THE DISPOSAL OF SOLVENTS, OIL BASED PAINTS AND STAINS, CEMENT PRODUCTS, AND ASPHALTIC MATERIALS.
3. A SUFFICIENT NUMBER OF CONTAINERS WILL BE SUPPLIED BY THE GENERAL CONTRACTOR FOR THE DISPOSAL OF GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, AND ANTIFREEZE.
4. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR

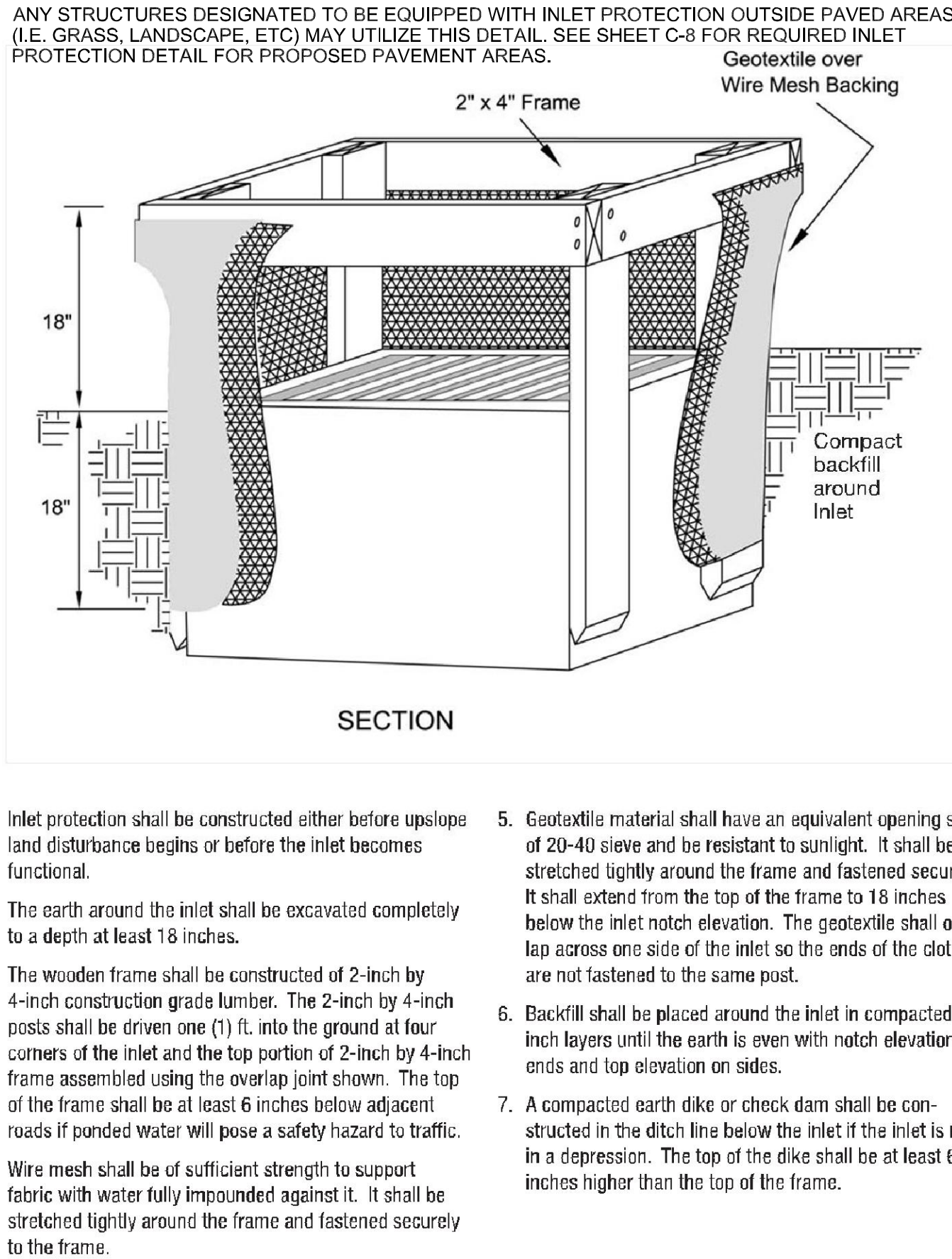
Construction Entrance



Silt Fence



Geotextile Inlet Protection



Construction Entrance

1. Stone Size—ODOT # 2 (1.5-2.5 inch) stone shall be used, or recycled concrete equivalent.
2. Length—The Construction entrance shall be as long as required to stabilize high traffic areas but not less than 70 ft. (exception: apply 30 ft. minimum to single residence lots).
3. Thickness -The stone layer shall be at least 6 inches thick for light duty entrances or at least 10 inches for heavy duty use.
4. Width -The entrance shall be at least 14 feet wide, but not less than the full width at points where ingress or egress occurs.
5. Geotextile -A geotextile shall be laid over the entire area prior to placing stone. It shall be composed of strong rot-proof polymeric fibers and meet the following specifications:
6. Timing—The construction entrance shall be installed as soon as is practicable before major grading activities.
7. Culvert -A pipe or culvert shall be constructed under the entrance if needed to prevent surface water from flowing across the entrance or to prevent runoff from being directed out onto paved surfaces.
8. Water Bar -A water bar shall be constructed as part of the construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and out onto paved surfaces.
9. Maintenance -Top dressing of additional stone shall be applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surface where runoff is not checked by sediment controls, shall be removed immediately. Removal shall be accomplished by scraping or sweeping.
10. Construction entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. Vehicles that enter and leave the construction-site shall be restricted from muddy areas.
11. Removal—the entrance shall remain in place until the disturbed area is stabilized or replaced with a permanent roadway or entrance.

Figure 7.4.1

Geotextile Specification for Construction Entrance		
Minimum Tensile Strength	200 lbs.	
Minimum Puncture Strength	80 psi.	
Minimum Tear Strength	50 lbs.	
Minimum Burst Strength	320 psi.	
Minimum Elongation	20%	
Equivalent Opening Size	EOS < 0.6 mm.	
Permittivity	1 x 10 ⁻³ cm/sec.	

Silt Fence

1. Silt fence shall be constructed before upslope land disturbance begins.
 2. All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small swales or depressions that may carry small concentrated flows to the silt fence are dissipated along its length.
 3. Ends of the silt fences shall be brought upslope slightly so that water ponded by the silt fence will be prevented from flowing around the ends.
 4. Silt fence shall be placed on the flattest area available.
 5. Where possible, vegetation shall be preserved for 5 feet (or as much as possible) upslope from the silt fence. If vegetation is removed, it shall be reestablished within 7 days from the installation of the silt fence.
 6. The height of the silt fence shall be a minimum of 16 inches above the original ground surface.
 7. The silt fence shall be placed in an excavated or sliced trench out a minimum of 6 inches deep. The trench shall be made with a trencher, cable laying machine, slicing machine, or other suitable device that will ensure an adequately uniform trench depth.
 8. The silt fence shall be placed with the stakes on the downslope side of the geotextile. A minimum of 8 inches of geotextile must be below the ground surface. Excess material shall lay on the bottom of the 6-inch deep trench. The trench shall be backfilled and compacted on both sides of the fabric.
 9. Seams between sections of silt fence shall be spliced together only at a support post with a minimum 6-in. overlap prior to driving into the ground. (see details).
 10. Maintenance—Silt fence shall allow runoff to pass only as diffuse flow through the geotextile. If runoff overtops the silt fence, flows under the fabric or around the fence ends, or in any other way allows a concentrated flow discharge, one of the following shall be performed, as appropriate: 1) the layout of the silt fence shall be changed; 2) accumulated sediment shall be removed; or 3) other practices shall be installed.
- Sediment deposits shall be routinely removed when the deposit reaches approximately one-half of the height of the silt fence.
- Silt fences shall be inspected after each rainfall and at least daily during a prolonged rainfall. The location of existing silt fence shall be reviewed daily to ensure its proper location and effectiveness. If damaged, the silt fence shall be repaired immediately.
- Criteria for silt fence materials
1. Fence post—The length shall be a minimum of 32 inches. Wood posts will be 2-by-2-in. nominal dimensioned hardwood of sound quality. They shall be free of knots, splits and other visible imperfections, that will weaken the posts. The maximum spacing between posts shall be 10 ft. Posts shall be driven a minimum 16 inches into the ground, where possible. If not possible, the posts shall be adequately secured to prevent overturning of the fence due to sediment/water loading.
 2. Silt fence fabric—See chart below.

Table 6.3.2 Minimum criteria for Silt Fence Fabric (ODOT, 2002)

FABRIC PROPERTIES	VALUES	TEST METHOD
Minimum Tensile Strength	120 lbs. (535 N)	ASTM D 4632
Maximum Elongation at 60 lbs	50%	ASTM D 4632
Minimum Puncture Strength	50 lbs (220 N)	ASTM D 4833
Minimum Tear Strength	40 lbs (180 N)	ASTM D 4533
Apparent Opening Size	≤ 0.84 mm	ASTM D 4751
Minimum Permittivity	1X10 ⁻² sec.-1	ASTM D 4481
UV Exposure Strength Retention	70%	ASTM G 4355

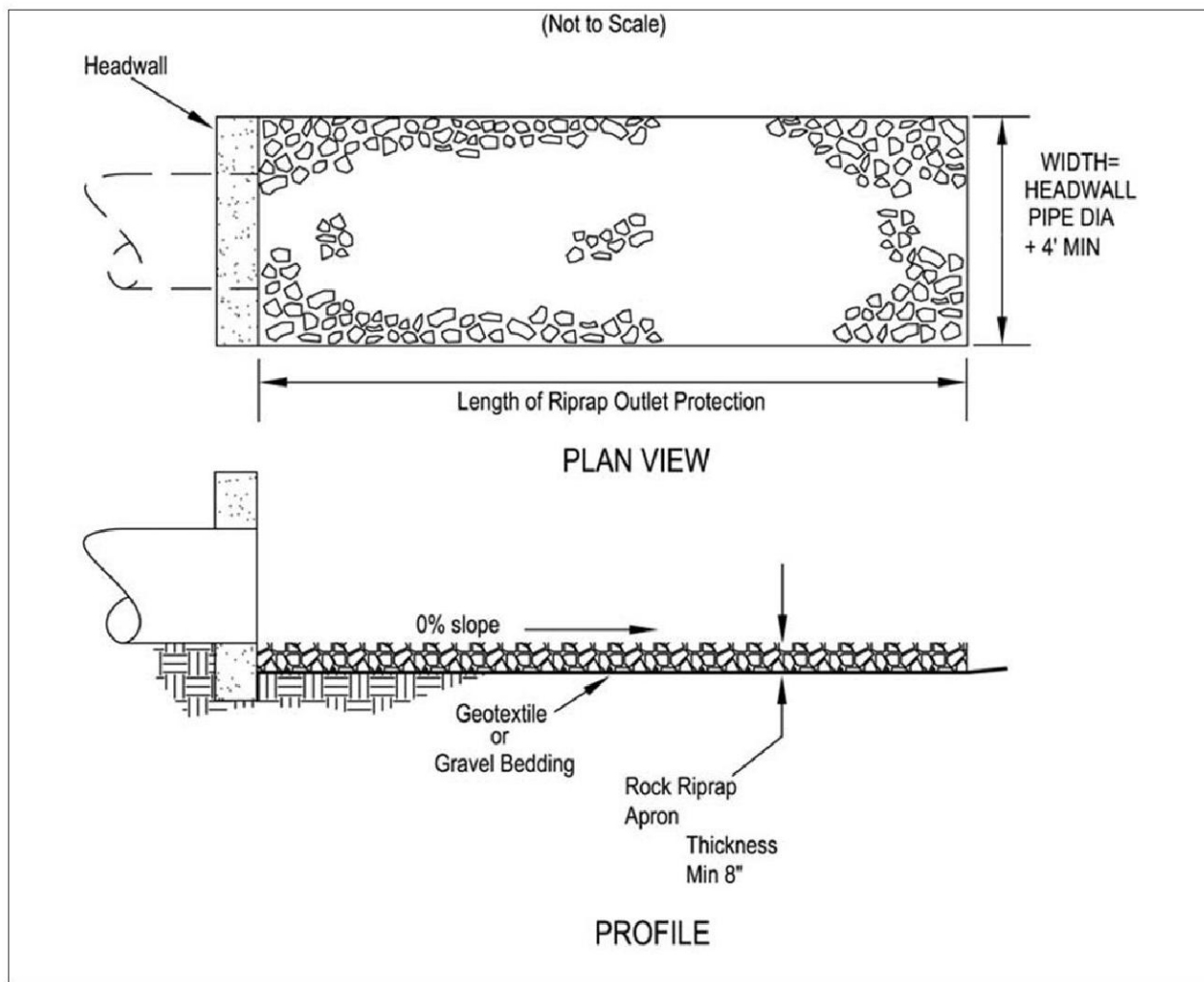
ONSITE TEMPORARY CONCRETE WASHOUT FACILITY, TRANSIT TRUCK WASHOUT PROCEDURES

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT. FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
4. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
6. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASH OUT.
7. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
8. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF OFFSITE IN A LEGAL MANNER. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.
9. TEMPORARY CONCRETE WASHOUT FACILITY (TYPE ABOVE GRADE)
 - a. TEMPORARY WASHOUT FACILITY (TYPE ABOVE GRADE) SHOULD BE CONSTRUCTED AS SHOWN IN THE DETAILS ON THIS SHEET, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FT. BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 - b. STRAW BALES, WOOD STAKES, AND SANDBAG MATERIALS SHOULD CONFORM TO THE PROVISIONS IN THE EROSION AND SEDIMENT CONTROL PLAN.
 - c. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
10. TEMPORARY CONCRETE WASHOUT FACILITY (TYPE BELOW GRADE)
 - a. TEMPORARY WASHOUT FACILITY (TYPE BELOW GRADE) SHOULD BE CONSTRUCTED AS SHOWN IN THE DETAILS ON THIS SHEET, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FT. BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 - b. LATH AND FLAGGING SHOULD BE COMMERCIAL TYPE.
 - c. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

REMOVAL OF TEMPORARY CONCRETE WASHOUT FACILITIES

1. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF.
2. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE BACKFILLED AND REPAIRED.

Rock Outlet Protection



1. Subgrade for the filter or bedding and riprap shall be prepared to the required lines and grades as shown on the plan. The subgrade shall be cleared of all trees, stumps, roots, sod, loose rock, or other material.
2. Riprap shall conform to the grading limits as shown on the plan.
3. Geotextile shall be securely anchored according to manufacturers' recommendations.
4. Geotextile shall be laid with the long dimension parallel to the direction of flow and shall be laid loosely but without wrinkles and creases. Where joints are necessary, strips shall be placed to provide a 12-in. minimum overlap, with the upstream strip overlapping the downstream strip.
5. Gravel bedding shall be ODOT No. 67's or 57's unless shown differently on the drawings.
6. Riprap may be placed by equipment but shall be placed in a manner to prevent slippage or damage to the geotextile.
7. Riprap shall be placed by a method that does not cause segregation of sizes. Extensive pushing with a dozer causes segregation and shall be avoided by delivering riprap near its final location within the channel.
8. Construction shall be sequenced so that outlet protection is placed and functional when the storm drain, culvert, or open channel above it becomes operational.
9. All disturbed areas will be vegetated as soon as practical.

REVISIONS	DATE
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CITY SUBMITTAL	2/14/23
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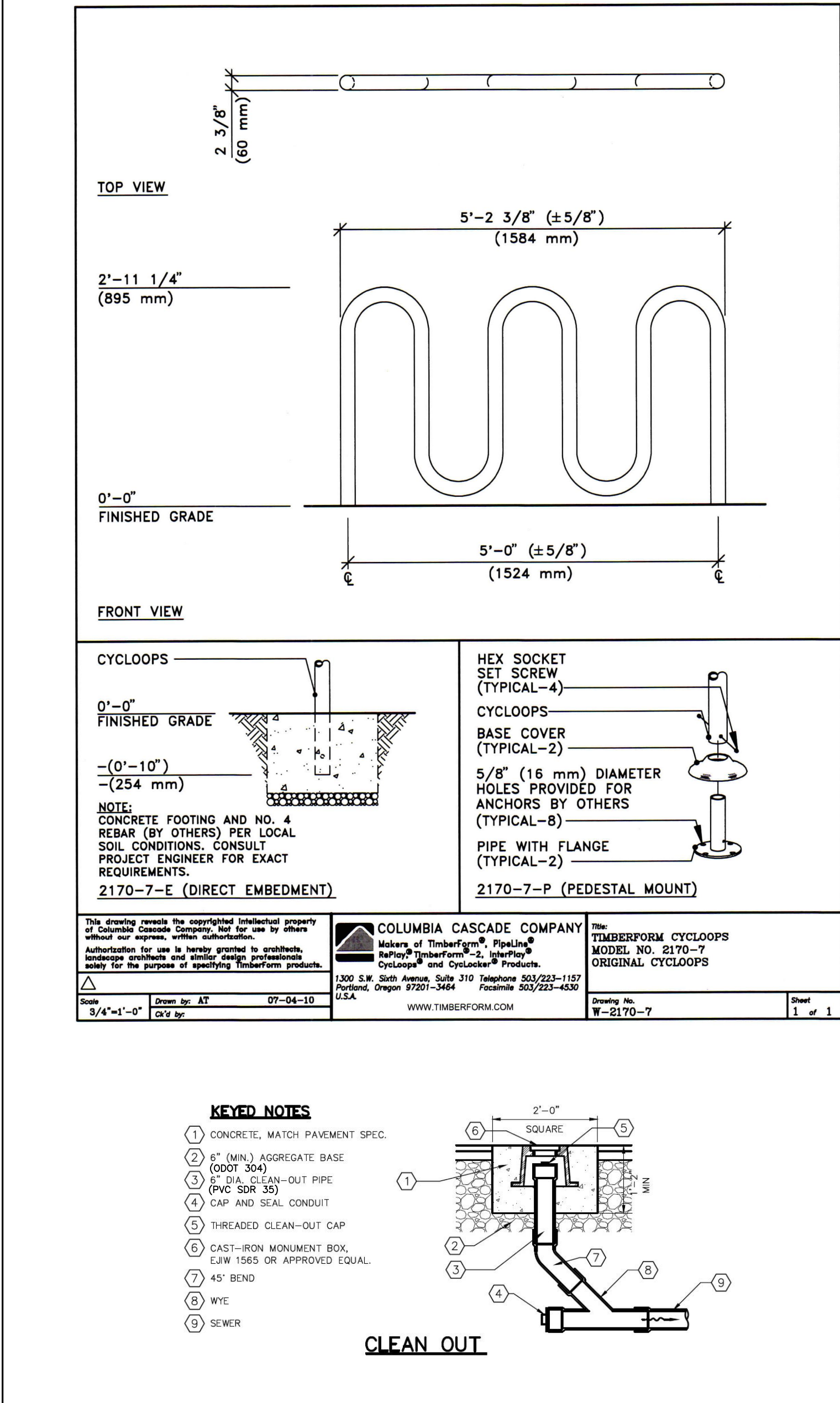
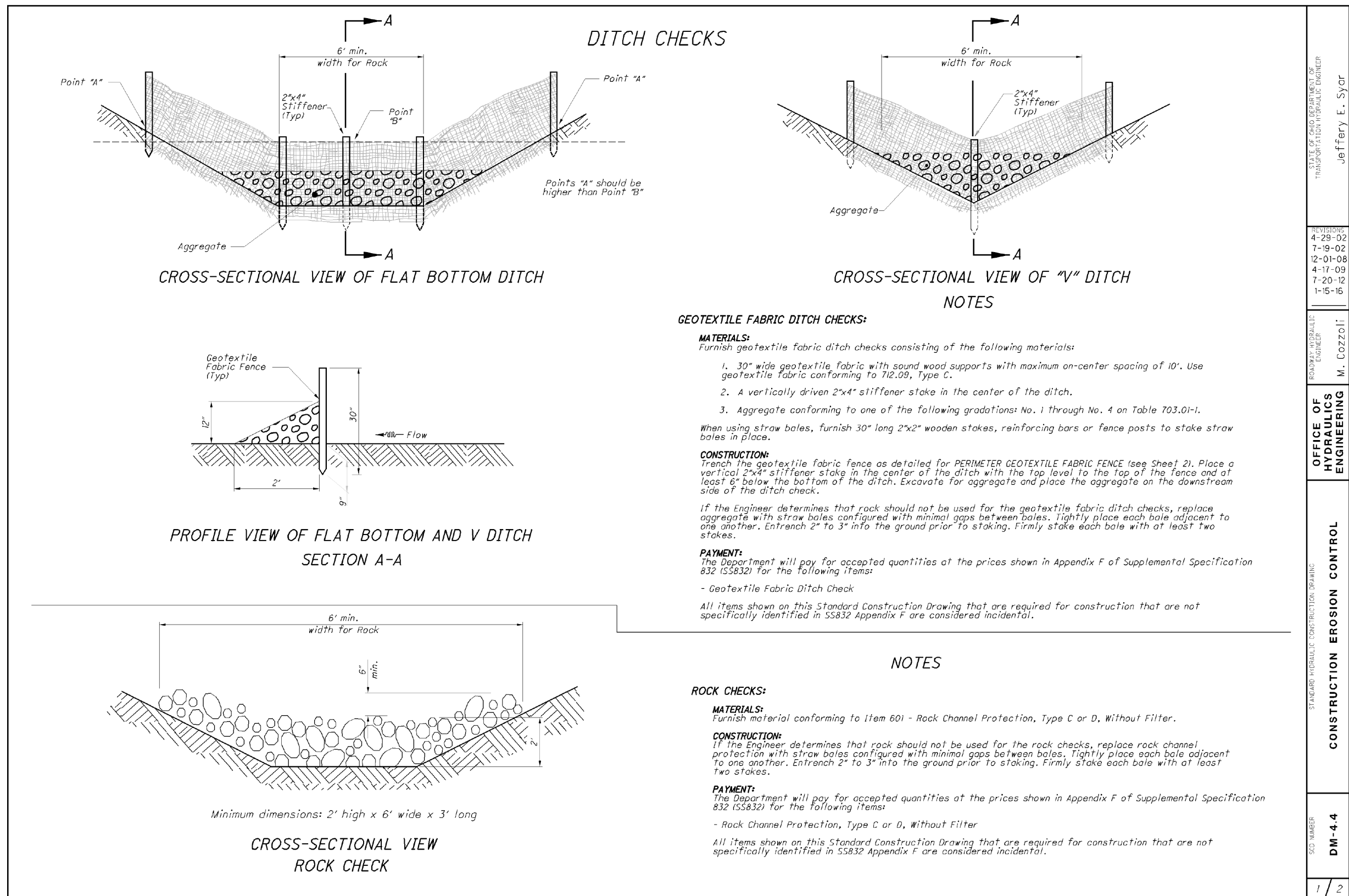
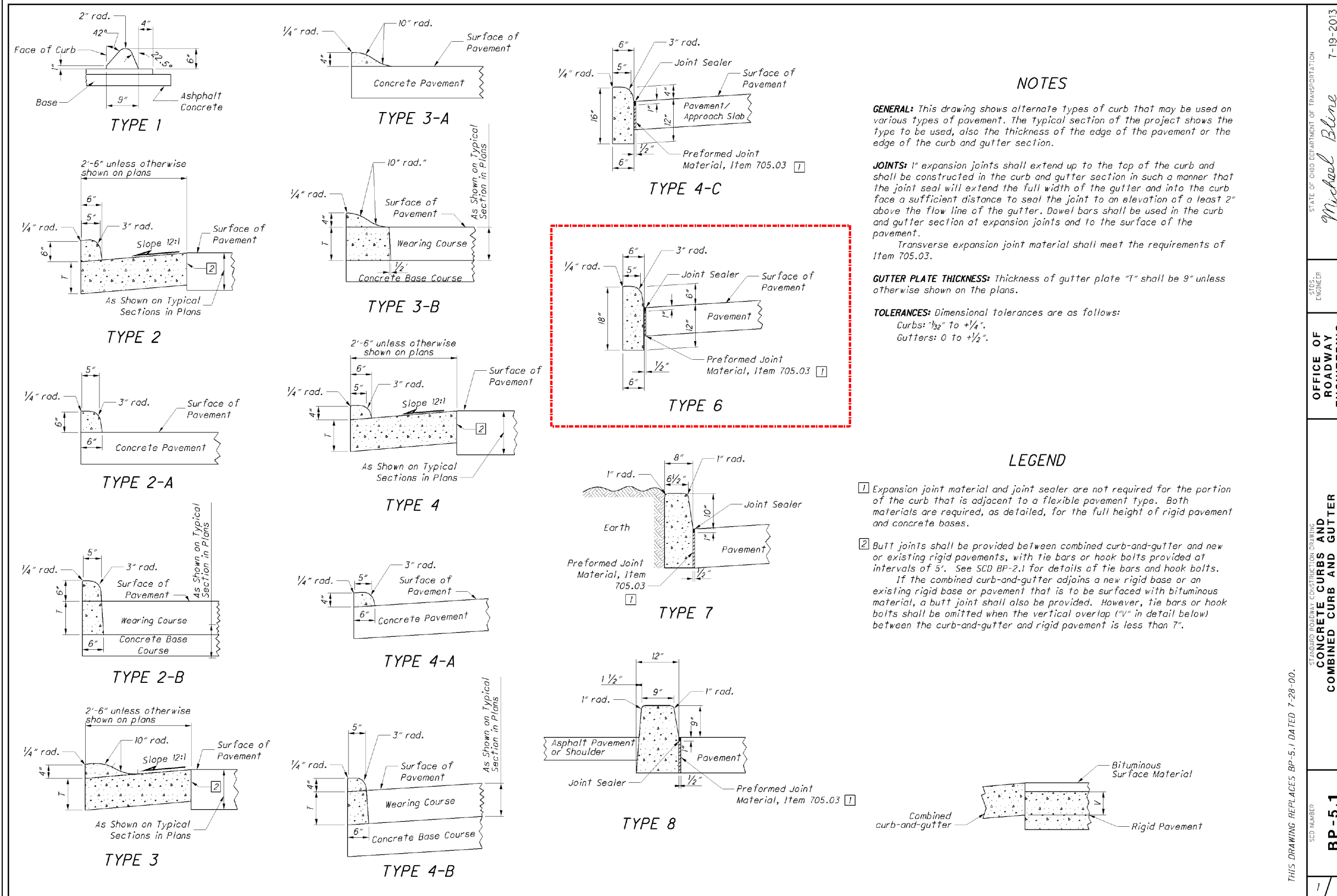
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SWPPP DETAILS
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

DATE: JAN 2023
DRAWN BY: DRF
JOB No.: 22-2328
SCALE: N/A

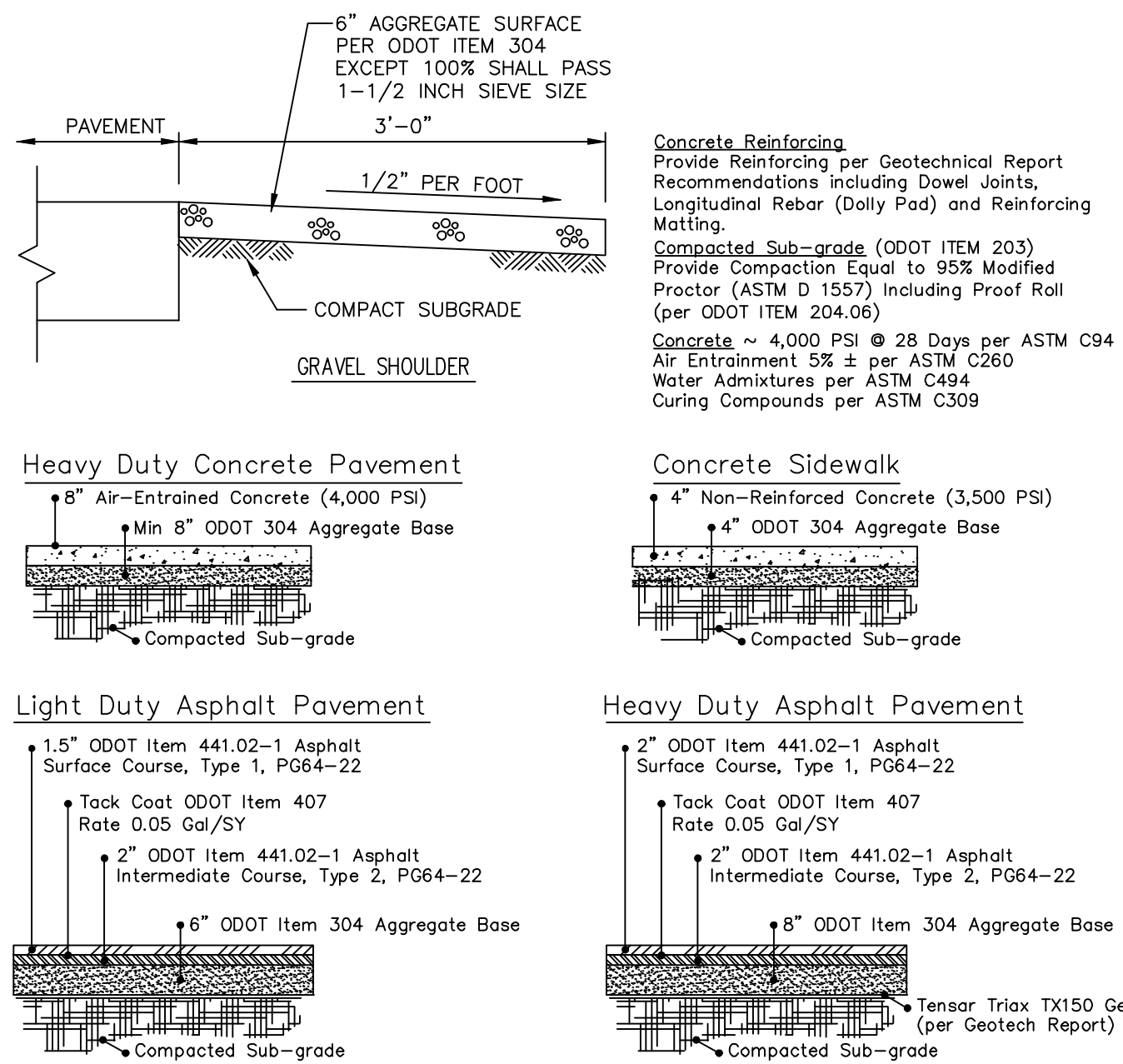
SHEET
C-12



AS PART OF ADDENDUM #1, GENERAL NOTE DETAILS MOVED TO SHEET C-9

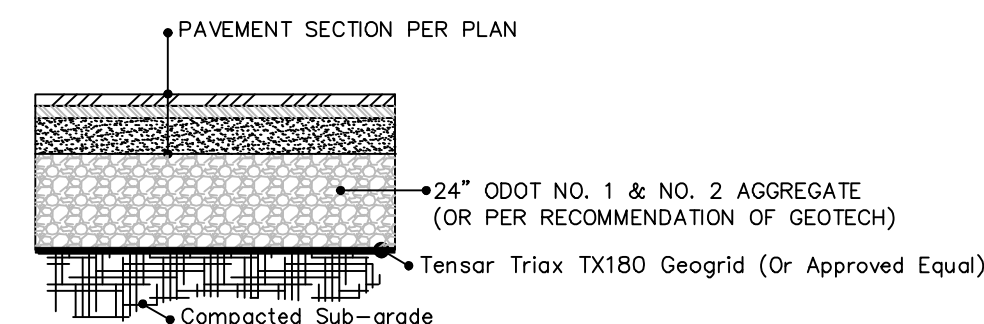
- CATCH BASIN UNDERDRAIN DETAIL
- SHALLOW UTILITY CLEARANCE DETAIL
- TYPICAL PIPE BACKFILL DETAIL

DETAILS MOVED FROM SHEET C-3:



PROPOSED PAVEMENT NOTES:

- ADDITIONAL SOILS INFORMATION AND PAVEMENT REQUIREMENTS ARE AVAILABLE IN THE SOIL EXPLORATION REPORT PREPARED BY: CT CONSULTANTS, INC. PROJ No. 229493 DATED: FEBRUARY 15, 2023
- THE CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT PRIOR TO THE START OF CONSTRUCTION AND ADOPT BY ALL ADDITIONAL REQUIREMENTS CONTAINED WITH THIS REPORT, WHETHER SHOWN ON THESE PLANS OR NOT. ANY DISCREPANCIES BETWEEN THIS REPORT AND THESE PLANS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL PAVEMENT CONSTRUCTION, INCLUDING SUBGRADE AND BASE COMPACTION, SHALL BE IN ACCORDANCE WITH APPLICABLE ODOT STANDARDS AND THE REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT REFERENCED ABOVE.
- A GEOTECHNICAL ENGINEER SHALL BE OBTAINED PRIOR TO PAVING OPERATIONS TO PROVIDE COMPACTION TESTING AND PROOF ROLLING. IN ACCORDANCE WITH APPLICABLE ODOT STANDARDS AND THE REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT REFERENCED ABOVE.



IN AREAS OF THE PROPOSED PAVEMENT THAT REQUIRE UNDER-CUTTING BASED ON RESULT OF PROOF-ROLLING OR RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION, THE CONTRACTOR MAY USE THE SECTION PROVIDED. THIS IS SUBJECT TO THE EXCAVATION DEPTH REQUIRED FOR REMOVAL OF THE POOR SOILS. CONTRACTOR SHALL PROVIDE A UNIT COST FOR THE FOLLOWING:

- UNDERCUT EXCAVATION = PER CY
- GEOTECH TENSAR Vx-1300 (OR APPROVED EQUAL) = PER SF
- ODOT #1 & #2 AGGREGATE = PER CY

COSTS SHALL INCLUDE EXCAVATION AND PLACEMENT OF MATERIAL IN THE UNDERCUT VOLUME TO THE ELEVATION OF THE SUBGRADE FOR THE PAVEMENT SECTION.

PAVEMENT UNDER-CUTTING DETAIL

GENERAL NOTES

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS OF CITY OF FREMONT, THE SANDUSKY COUNTY ENGINEER AND TO THE SPECIFICATIONS OF THE OHIO DEPARTMENT OF TRANSPORTATION DATED JANUARY 1, 2019. CONTRACTOR SHALL OBTAIN COPIES OF ALL APPLICABLE STANDARDS PRIOR TO CONSTRUCTION. ZONING AND SITE PLAN SHALL CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF CITY OF FREMONT.

STORM SEWER CONNECTIONS

- ALL STORM SEWER SHALL BE CONSTRUCTED TO THE SPECIFICATIONS OF CITY OF FREMONT, THE SANDUSKY COUNTY ENGINEER AND/OR THE OHIO DEPARTMENT OF TRANSPORTATION, INCLUDING BUT NOT LIMITED TO MATERIALS, STANDARD DETAILS AND INSTALLATION REQUIREMENTS.
- ALL PAVEMENT REPLACEMENT RESULTING FROM STORM SEWER CONSTRUCTION AND / OR WATER SERVICE TAP WILL BE PER THE SAME PAVEMENT COMPOSITION AS THE APPLICABLE TYPICAL SECTION FOR THAT AREA OR HEAVY-DUTY PAVEMENT (WHICHEVER IS GREATER). THE COST FOR PAVEMENT REPLACEMENT SHALL BE INCLUDED IN THE PRICE BID FOR STORM SEWER & WATER TAP CONSTRUCTION.
- THE CONTRACTOR SHALL SO CONDUCT HIS OPERATIONS SO THAT THE FLOW OF ALL SEWERS WHICH ARE TO REMAIN IN SERVICE SHALL BE MAINTAINED AT ALL TIMES. ANY ADDITIONAL COST OF LABOR INVOLVED IN MAINTAINING THIS FLOW BY PUMPING OR ANY OTHER APPROVED METHOD, SHALL BE INCLUDED IN THE PRICE BID FOR THE APPROPRIATE CONTRACT ITEM.
- THE PRICE BID FOR CONDUIT SHALL INCLUDE, BUT IS NOT LIMITED TO: CLEARING AND GRUBBING, THE REMOVAL OF AND/OR REPLACEMENT OF EXISTING PAVEMENT, SIDEWALKS, DRIVEWAYS, STORM SEWERS, PIPE SPECIALS, AS WELL AS ALL OTHER ITEMS NECESSARY FOR PLACING THE CONDUIT. SAID BID MAY ALSO INCLUDE THE COST FOR CONNECTING THE CONDUIT TO AN EXISTING CATCH BASIN OR MANHOLE, AS APPLICABLE PER PLAN.

DUST CONTROL

THE CONTRACTOR SHALL KEEP ALL ACCESS DRIVES & ROADS CLEAN WITHIN THE PROJECT LIMITS TO THE SATISFACTION OF THE CITY AND COUNTY. ALL HAUL ROADS SHALL BE KEPT FREE FROM DUST AND DIRT. IF THEY ARE NOT MAINTAINED TO THE SATISFACTION OF THE COUNTY AND/OR CITY, THEY SHALL REQUIRE THE CONTRACTOR TO USE MECHANICAL CLEANING EQUIPMENT TO REMOVE DUST AND PARTICLES FROM THE ROADWAY SURFACE AND MINIMIZE THE CHANCE OF SUCH PARTICLES BECOMING AIR-BORNE.

AERIAL UTILITIES

VARIOUS PRIMARY AERIAL LINES ARE LOCATED IN THE PROJECT AREA. THE CONTRACTOR SHALL NOTIFY THE UTILITIES AT LEAST 48 HOURS PRIOR TO BEGINNING WORK IN ORDER THAT THESE LINES MAY BE PROTECTED IF NECESSARY.

UTILITY PLAN NOTES

- ALL PROPOSED PIPE SLOPES SHOWN ON PLAN ARE TO BE MINIMUM SLOPES UNLESS OTHERWISE INDICATED.
- PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY LOCATION, DEPTH AND SIZE OF ALL EXISTING UTILITIES WHICH ARE TO BE CONNECTED TO AND/OR REROUTED AS PART OF THIS CONTRACT. THE EXISTING STORM SEWER & SANITARY SERVICE SHALL BE VERIFIED PRIOR TO ORDERING ANY PROPOSED STRUCTURES. COORDINATE ALL INFORMATION WITH THE OWNER AND ENGINEER.
- THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICE (ELECTRIC, TELEPHONE, WATER, SANITARY, STORM, GAS, ETC.) WITHOUT NOTIFYING ALL AFFECTED TENANTS AND PROPERTY OWNER 48 HOURS PRIOR TO CONSTRUCTION.
- PROPOSED STORM STRUCTURES WITHIN SUMP AREAS, REAR YARDS AND ROADWAY SHALL HAVE UNDERDRAIN INSTALLED AS INDICATED BY THE UNDERDRAIN DETAIL.
- WHERE THE PLANS PROVIDE FOR A PROPOSED CONDUIT TO BE CONNECTED TO, OR TO CROSS EITHER OVER OR UNDER AN EXISTING CONDUIT, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LINE AND GRADE OF THE EXISTING CONDUIT BEFORE STARTING CONSTRUCTION.

REMOVALS

ALL DRIVEWAY AND ROADWAY PAVEMENT REMOVALS SHALL BE CUT WITH NEAT LINES BY USE OF A POWER CARBIDE SAW, MINIMUM 6 INCHES BEHIND THE PROPOSED CURB LINE AND/OR MATCHLINE, TO A MINIMUM DEPTH OF THE EXISTING PAVEMENT SECTION. REMOVAL SHALL BE MADE ONLY TO THE EXTENT PROVIDED BY CITY OF FREMONT AND THE SANDUSKY COUNTY ENGINEER, AS APPLICABLE.

PAVEMENT SUBGRADE

COMPACTION OF THE PAVEMENT SUBGRADE SHALL BE AS SPECIFIED PER ODOT ITEM 204. WHERE IT IS NECESSARY TO CONSTRUCT PAVEMENT SUBGRADE IN FILL, THE CONTRACTOR SHALL REMOVE THE EXISTING TOPSOIL BENEATH THE PROPOSED SUBGRADE, WITH THE COST TO BE INCLUDED IN THE PRICE PER CUBIC YARD BID FOR ODOT ITEM 203, EMBANKMENT. PROOF ROLLING IS REQUIRED BEFORE PLACING PAVEMENT PER ITEM 204.06.

GRADING PLAN NOTES

- ALL PROPOSED GRADES SHOWN ON PLAN ARE TOP OF PAVEMENT GRADES UNLESS OTHERWISE INDICATED. WHERE TWO GRADES ARE SHOWN, ONE IS TOP OF CURB & THE OTHER IS TOP OF PAVEMENT.
- CONTRACTOR SHALL MATCH EXISTING GRADE AT LIMITS OF FULL DEPTH REPLACEMENT AND EDGE OF PAVEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE POSITIVE DRAINAGE FROM ALL SURFACES, BOTH PROPOSED AND EXISTING, TO THE STORM SEWER SYSTEM AFTER COMPLETION OF CONSTRUCTION.

SEEDING, MULCHING AND FERTILIZING

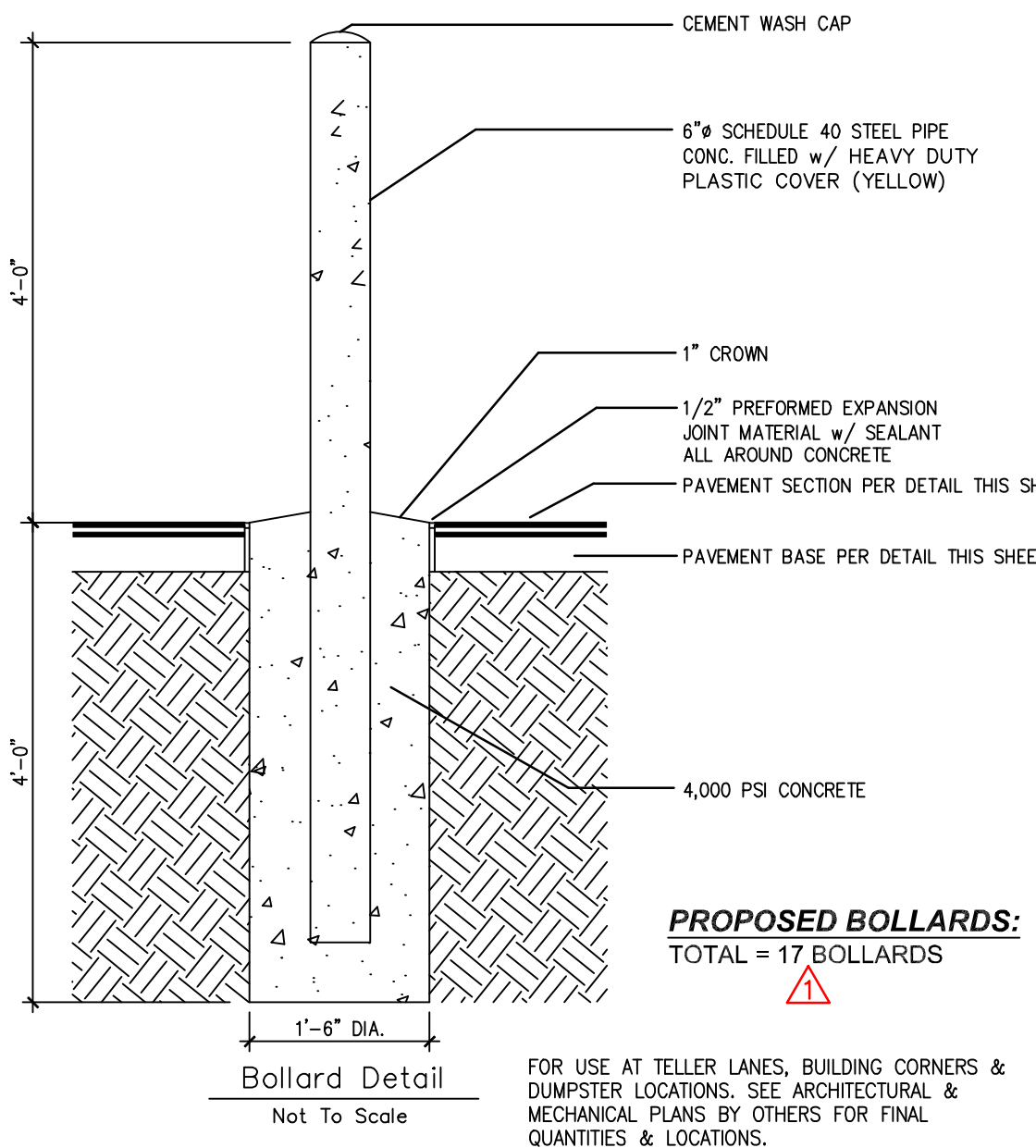
ALL DISTURBED AREAS SHALL BE SEEDED, MULCHED AND FERTILIZED IN ACCORDANCE WITH ODOT ITEM 659 SEEDING AND MULCHING, CLASS 1 LAWN MIXTURE.

RESTORATION

ALL EXISTING FEATURES DESIGNATED TO REMAIN THAT ARE DISTURBED DUE TO CONSTRUCTION, SUCH AS MAILBOXES, SHRUBS, BUSHES, GUARDRAILS, DRIVEWAYS, SWALES, SEWERS, CATCH BASINS, BEINGS, SEEDS AREAS, ETC., SHALL BE REPLACED IN KIND TO THEIR ORIGINAL CONDITION IN ACCORDANCE WITH APPLICABLE ODOT SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER, CITY AND/OR COUNTY. PAVEMENT FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE RESPECTIVE WORK ITEM.

INSPECTION

CONTRACTOR SHALL NOTIFY APPROPRIATE INSPECTORS FIVE (5) CALENDAR DAYS PRIOR TO THE BEGINNING OF ACTUAL CONSTRUCTION AND/OR INSTALLATION. COST OF INSPECTION BY THE INSPECTION AGENCY AND THE MATERIAL SAMPLINGS AND TESTING SHALL BE PAID FOR BY THE DEVELOPER. MATERIAL SAMPLING AND TESTING SHALL BE PERFORMED BY A TESTING FIRM APPROVED BY CITY OF FREMONT & SANDUSKY COUNTY.



REVISIONS	DATE
INITIAL SUBMITTAL	1/25/23
OWNER REVIEW	2/7/23
CITY SUBMITTAL	2/14/23
ADDENDUM #1	3/10/23

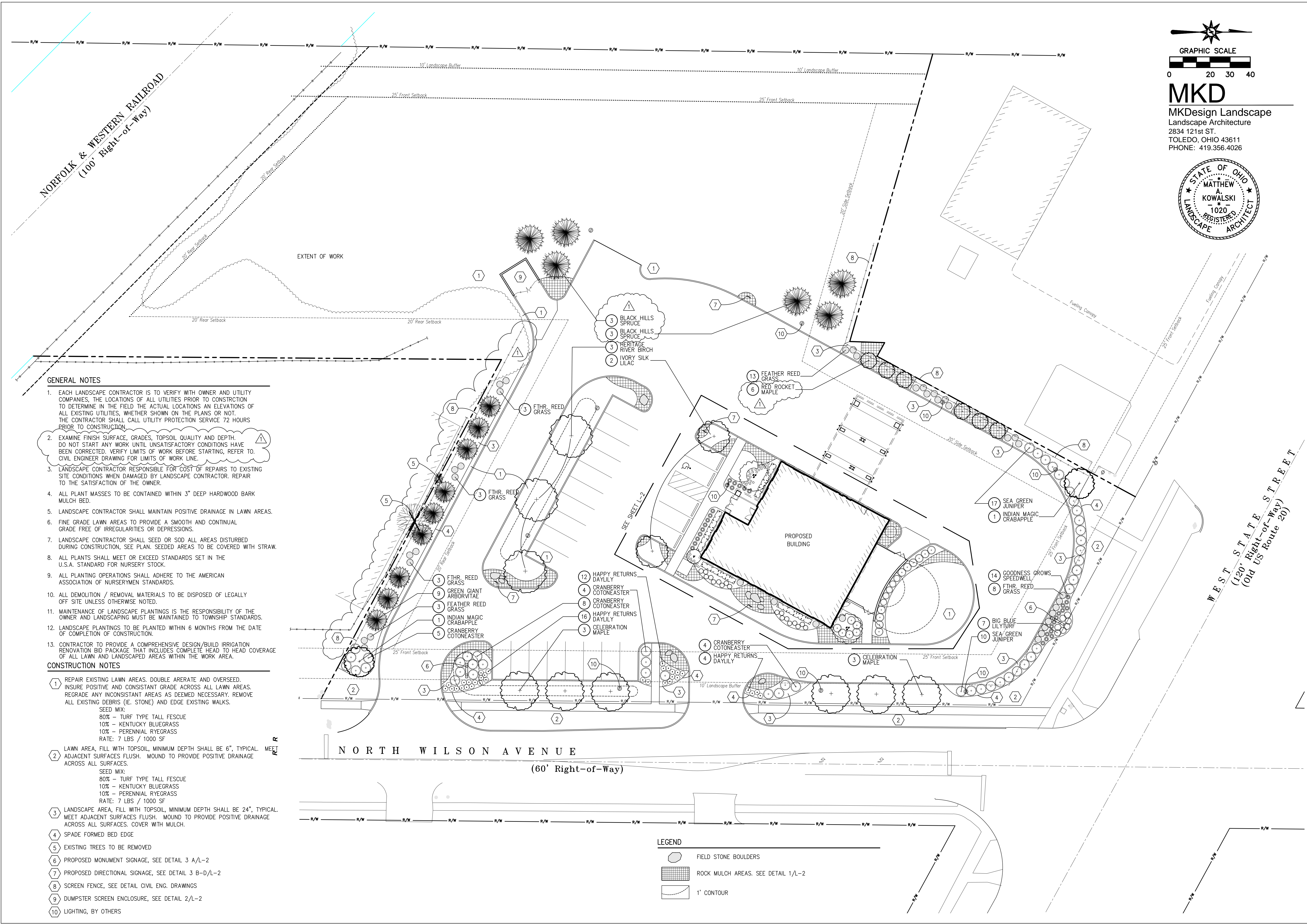
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GENERAL NOTES & CONSTRUCTION DETAILS
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

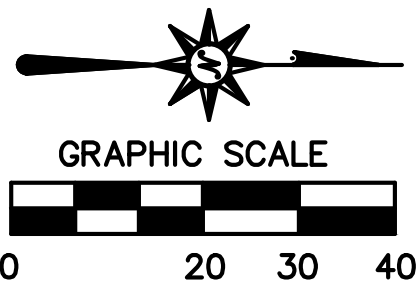
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SCALE: N/A

SHEET
C-13

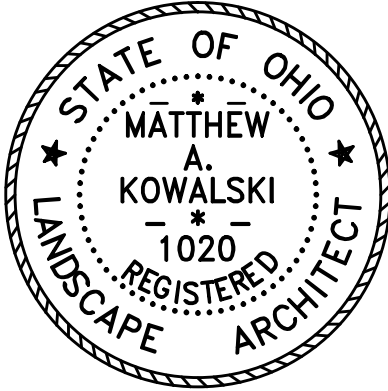


- GENERAL NOTES**
- EACH LANDSCAPE CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES, THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AN ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
 - EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING, REFER TO CIVIL ENGINEER DRAWING FOR LIMITS OF WORK LINE.
 - LANDSCAPE CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY LANDSCAPE CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
 - ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
 - LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
 - FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
 - LANDSCAPE CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN. SEEDED AREAS TO BE COVERED WITH STRAW.
 - ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
 - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
 - ALL DEMOLITION / REMOVAL MATERIALS TO BE DISPOSED OF LEGALLY OFF SITE UNLESS OTHERWISE NOTED.
 - MAINTENANCE OF LANDSCAPE PLANTINGS IS THE RESPONSIBILITY OF THE OWNER AND LANDSCAPING MUST BE MAINTAINED TO TOWNSHIP STANDARDS.
 - LANDSCAPE PLANTINGS TO BE PLANTED WITHIN 6 MONTHS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
 - CONTRACTOR TO PROVIDE A COMPREHENSIVE DESIGN/BUILD IRRIGATION RENOVATION BID PACKAGE THAT INCLUDES COMPLETE HEAD TO HEAD COVERAGE OF ALL LAWN AND LANDSCAPED AREAS WITHIN THE WORK AREA.
- CONSTRUCTION NOTES**
- REPAIR EXISTING LAWN AREAS. DOUBLE AREARATE AND OVERSEED. INSURE POSITIVE AND CONSISTANT GRADE ACROSS ALL LAWN AREAS. REGRADE ANY INCONSISTANT AREAS AS DEEMED NECESSARY. REMOVE ALL EXISTING DEBRIS (IE. STONE) AND EDGE EXISTING WALKS.
SEED MIX:
80% - TURF TYPE TALL FESCUE
10% - KENTUCKY BLUEGRASS
10% - PERENNIAL RYEGRASS
RATE: 7 LBS / 1000 SF
 - LAWN AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 6", TYPICAL. MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
SEED MIX:
80% - TURF TYPE TALL FESCUE
10% - KENTUCKY BLUEGRASS
10% - PERENNIAL RYEGRASS
RATE: 7 LBS / 1000 SF
 - LANDSCAPE AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 24", TYPICAL. MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES. COVER WITH MULCH.
 - SPADE FORMED BED EDGE
 - EXISTING TREES TO BE REMOVED
 - PROPOSED MONUMENT SIGNAGE, SEE DETAIL 3 A/L-2
 - PROPOSED DIRECTIONAL SIGNAGE, SEE DETAIL 3 B-D/L-2
 - SCREEN FENCE, SEE DETAIL CIVIL ENG. DRAWINGS
 - DUMPSTER SCREEN ENCLOSURE, SEE DETAIL 2/L-2
 - LIGHTING, BY OTHERS

- LEGEND**
- FIELD STONE BOULDERS
 - ROCK MULCH AREAS. SEE DETAIL 1/L-2
 - 1' CONTOUR



MKD
MKDesign Landscape
Landscape Architecture
2834 121st ST.
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PHONE: 419.356.4026



REVISIONS	DATE
INITIAL SUBMITTAL	1/25/23
PRELIM REVIEW	2/7/23
CITY SUBMITTAL	2/14/23
ADDEMDUM NO. 1	3/10/23

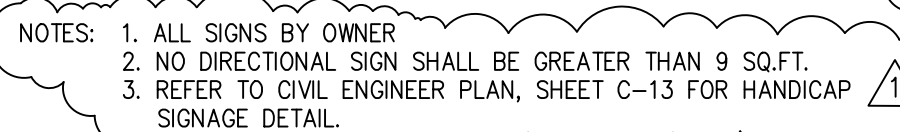
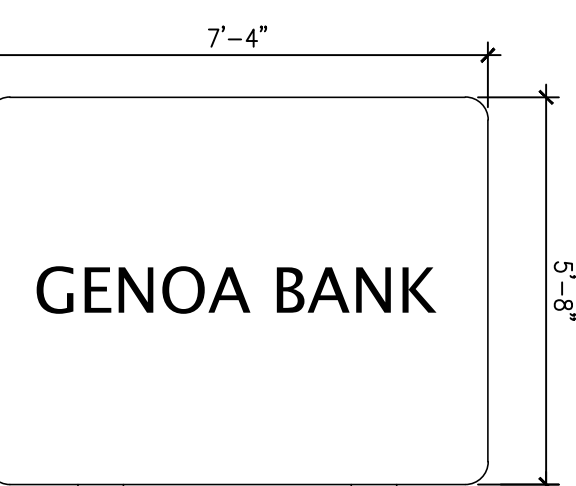
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DIMENSIONAL SITE PLAN
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY, OHIO

DATE: FEB 2023
DRAWN BY: MAK
JOB No.: 22-2328
SCALE: 1"= 30'

SHEET
L-1



QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
TREES					
1	SHADBLow SERVICEBERRY	Amelanchier canadensis	6' HT.	B&B	.
	PURPLE FOUNTAIN BEECH	Fagus sylvatica 'Purple Fountain'	6' HT.	B&B	.
1	ANN MAGNOLIA	Magnolia x 'Ann'	6' HT.	B&B	.
SHRUBS					
30	BABY GEM BOXWOOD	Buxus microphylla 'Grgem'	NO. 3	CONT.	3' O.C.
1	OAK LEAF HYDRANGEA	Hydrangea quacerfolia	30"	B&B	.
16	NEW BLUE JUNIPER	Juniperus sabina tamariscifolia 'New Blue'	NO. 3	B&B	.
1	OAK LEAF HYDRANGEA	Hydrangea quacerfolia	30"	B&B	.
ORNAMENTAL GRASSES/PERENNIALS/GROUND COVER					
4	KARL FOERSTER'S FEATHER REED GRASS	Calamagrostis x acutifolia 'Karl Foerster'	NO. 2	CONT.	AS SHOWN
16	VARGATED LILYTURF	Liriope muscari 'Variegata'	NO. 2	CONT.	30" O.C.
19	MIDNIGHT BLUE SALVIA	Salvia x 'Midnight Blue'	NO. 2	CONT.	AS SHOWN
39	BLUE MYRTLE	Vinca Minor	NO. 1	CONT.	18" O.C.

1 LAWN AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 6", TYPICAL. MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

SEED MIX:
80% - TURF TYPE TALL FESCUE
10% - KENTUCKY BLUEGRASS
10% - PERENNIAL RYEGRASS
RATE: 7 LBS / 1000 SF

2 LANDSCAPE AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 24", TYPICAL. MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES. COVER WITH RIVER ROCK MULCH, DET. B/L-2

3 SPADE FORMED BED EDGE

4 PROPOSED DIRECTIONAL SIGNAGE, SEE DETAIL 3-B/L-2

MKDesign Landscape
Landscape Architecture
2834 121st ST.
TOLEDO, OHIO 43611
PHONE: 419.356.4026

REVISIONS	DATE
INITIAL SUBMITTAL	1/25/23
PRELIM REVIEW	2/7/23
CITY SUBMITTAL	2/14/23
ADDEMDUM NO. 1	3/10/23

ALL DRAWINGS
HERE AND SHALL REMAIN
THE PROPERTY OF D.R.
REDERICK & ASSOCIATES,
AND MAY NOT BE USED,
REPRODUCED, OR ALTERED
WITHOUT THE WRITTEN
CONSENT OF THE
ENGINEER

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DFREDERICK@FREDERICKASSOC.COM

DIMENSIONAL SITE PLAN
GENOA BANK COMPANY
1701 WEST STATE STREET
CITY OF FREMONT, SANDUSKY COUNTY

DATE:	FEB 2023
DRAWN BY:	MAK
JOB No.:	22-2328
SCALE:	AS SHOWN

SHEET

L-2